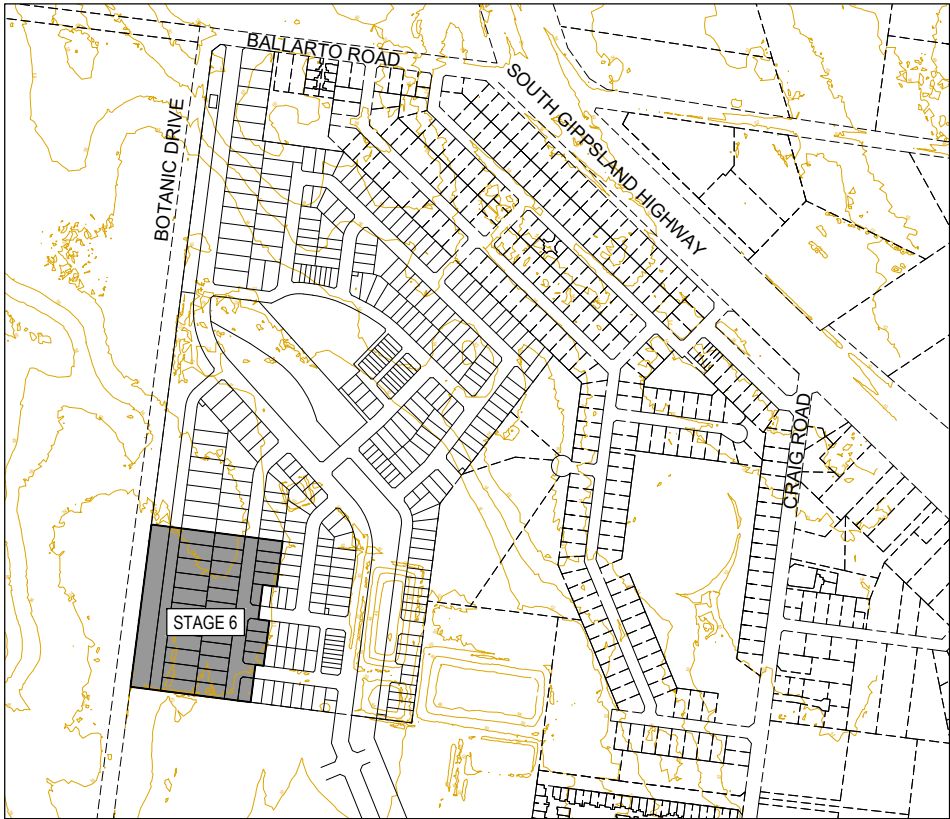


Octave at Junction Village

Stage 6



DRAWING INDEX		
REFERENCE		DRAWING No.
Locality Plan, Drawing Index & General Notes		0329-06-R01
Layout Plans		0329-06-R02 to R03
Allotment Benching Plans		0329-06-R04 to R05
Pavement Compositions & Details		0329-06-R06
Typical Sections		0329-06-R07
Road Longitudinal Sections	Ensemble Way	0329-06-R08
	Melody Way	0329-06-R08
	Reserve	0329-06-R08
	Symphony Parkway	0329-06-R09
	Vivaldi Drive	0329-06-R09
Cross Sections	Ensemble Way	0329-06-R10
	Melody Way	0329-06-R11
	Symphony Parkway	0329-06-R12 to R15
	Vivaldi Drive	0329-06-R16 to R17
Intersection Details		0329-06-R18
Signage & Linemarking Plans		0329-06-R19 to R20
Drainage Longitudinal Sections		0329-06-R21 to R22
Pit Schedule		0329-06-R23

GENERAL NOTES

- The works shall be constructed in accordance with the current Engineering Design and Construction Manual (EDCM) standard drawings and Council specifications. Works to be carried out to the satisfaction of Council's supervising officer.
- The contractor is responsible for safety of work on site in accordance with appropriate legislation. The contractor shall ensure that the site is maintained in a safe manner at all times.
- The contractor shall:
 - Comply with the requirements of the Occupational Health and Safety Act 2007.
 - Notify Workcover of their intention to commence trenching operations where trenches are 1.5 metres or deeper.
 - Ensure that the mine manager or his deputy as required by the Act is in attendance when trenching operations are in progress.
- The contractor is to notify council and all service authorities seven (7) days prior to commencement of construction.
- The location of existing services should be determined by the contractor prior to commencing any excavation by contacting all relevant service authorities. Any existing services shown on the drawings are offered as a guide only and are not guaranteed as correct.
- Removal or retention of existing trees or vegetation must be in accordance with the approved landscape plan (otherwise approval will be required from the Landscape Approval Officer).
- Approval will be required from Conservation Officer for alteration, removal or excavation of any significant existing features, buildings, structures or vegetation.
- No surplus trees, vegetation or other materials are to be burnt on site.
- All road chainages are measured along the road centreline except kerb returns and courtheads, where lip of kerb chainages are specified. All dimensions and radii are given to the lip of kerb. Do not scale off these drawings, written dimensions only shall be used.
- All levels are to Australian Height Datum (AHD). All coordinates are to Map Grid of Australia (MGA).
- Any existing pavement or drainage works damaged during construction or the maintenance period to be reinstated to the satisfaction of the Council.
- Upon the completion of construction, the whole site shall be cleaned up and graded over. All rubbish is to be removed and the site is to be left in a clean and tidy condition to the satisfaction of the superintendent.

EARTHWORKS NOTES

- Erosion control measures must be undertaken to the satisfaction of the Council.
- Appropriate siltation control is to be carried out during the construction and maintenance periods.
- Filling in all properties & road reserves is to be carried out using approved clay fill. Topsoil & all vegetable matter to be stripped from site prior to filling. All filling to be carried out in 150mm layers and compacted to 95% of max. dry density. All filling to comply with AS 3798-2007, Section 8.2, Level 1. A fill report must be submitted from NATA registered soil testing laboratory.
- The nature strips and cut or filled areas are to be topsoiled with 100mm of approved material. If the existing topsoil is unsuitable then approved topsoil shall be imported at the contractor's expense.
- Batters into allotments shall not be steeper than 1 in 6 unless shown otherwise. Cut batters are to be grassed and hydro-mulched with a mixture of chopped grass, straw and bitumen emulsion.
- Blocks shall be graded to ensure a minimum grade of 1 in 150 to the point of drainage, unless shown otherwise.
- No topsoil to be removed from site without the approval of council.
- If any existing substandard filling is encountered on the site it must be removed and replaced with approved fill material properly compacted to Council requirements. A geo-technical report must be submitted showing details of depth, type of material and density of the fill areas concerned.
- Invert levels must be taken prior to filling of any existing dams or channels and levels provided to the superintendent.

PAVEMENT NOTES

- Where road pavement or paths are above stripped surface, they are to be filled with approved structural material to the bottom of the boxing.
- Where pavement excavation is in rock, all loose material (including rocks and clay) are to be removed and subgrade regulated with approved structural material.
- Pavement sub-base and bedding to kerb and channel is to extend 300mm behind the back of kerb as per EDCM 202 for non-expansive subgrades.
- Pavement depths to be modified as directed by the engineer.
- Single driveways are to be 3.5m wide and located 0.75m from side boundary or easement unless noted otherwise. They are to be constructed in accordance with standard drawing EDCM 501. Double driveways are to be constructed in accordance with standard drawing EDCM 502.
- Footpath to be 125mm depth reinforced concrete in accordance with standard drawing EDCM 401.
- Pram crossings to include tactile pavers in accordance with Australian Standards. Design for access and mobility Part 4.1 and Vicroads road design note 06-06, Guidelines for the placement of Tactile Ground Surface Indicators.

DRAINAGE NOTES

- Pits within the road reserve are not to be setout using digital information.
- Stormwater drains under road pavements, driveways, footpaths, parking bays and behind kerb and channel to be backfilled with crushed rock as specified.
- Stormwater drains less then or equal to 750mm are to be Class 2 RCP with rubber ring joints unless noted otherwise.
- Terra firma or fibre glass type pit lids are required for all drainage pits (refer S-302). All grates for drainage pits are to be 'Class D' to comply with AS 3996-2006.
- House drains and property inlets are to be constructed in accordance with EDCM 701 to 704.
- House drains are to be offset 5.50m from the low side boundary (or driveway side for lots narrower than 11.0m) unless noted otherwise. They are to be constructed at a minimum depth of 600mm below the lowest corner level. The house drain location to be inscribed with a 50mm high "H" on the back of kerb.
- Property inlets are to be offset 1.00m from low side boundary unless noted otherwise. They are to be constructed at a minimum depth of 600mm below finished surface level.
- Subsoil drains shall be installed behind all kerb and channel in accordance with standard drawing EDCM 202 for non-expansive subgrades.
- A CCTV report must be provided on all drainage pipelines prior to practical completion of works.
- No stormwater drainage pipes shall be subjected to construction traffic loading during construction unless the pipe strength characteristics have been computed and approved by the contractors engineer. Computations are to accord with AS3725-1989 Loads on Buried Pipes.
- Concrete pipes damaged due to construction loads shall be repaired at the contractors cost.

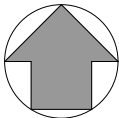
SERVICES NOTES

- The contractor shall co-operate with all service authorities and shall ensure that all services are installed prior to the final pavement course.
- All service trenches under road pavements, vehicle crossings and footpaths to be backfilled with crushed rock in accordance with Council's specification.
- The contractor shall check with the superintendent the exact location of all services prior to the installation of conduits.
- Conduit locations are subject to amendment and conduits shall not be laid until written approval is given by the superintendent.
- Gas conduits are to be 50mm PVC and water conduits are to be 100mm PVC laid at a minimum depth of 600mm below road finished surface levels to the satisfaction of the superintendent. Water conduits are to end in the road reserve 300mm from the title boundary.
- Gas mains, fittings and marker tape are to be supplied by the gas authority. Excavation, supply and placement of required backfill to be by others.
- Two weeks notification of commencement of excavation works shall be given to the gas authority.
- Electrical distribution pits must have a minimum clearance of 300mm from edge of path.
- Communications conduits and pits are to be provided in accordance with the approved FTTP plans.
- Both kerbs are to be marked with the letters G, W, E and T above the conduit locations.

SIGNS AND PAVEMENT MARKINGS

- All pavement markings, signing & traffic control devices for this project to be in accordance with Australian Standard AS1742.
- All line marking to be long life road marking, with longitudinal lines in thermoplastic and transverse markings in cold applied.
- All street signs are to be in accordance with standard drawing S-803.
- Street numbers to be painted in yellow road marking paint on kerb face in front of each allotment. Numbers to be a minimum 100mm in height.
- Install blue raised reflective pavement marker (BRRPM) on road centre line and 'ground ball' marker post to indicate location of fire hydrants.

Rev	Amendment	Des/Dft	App'd	Date
A	Initial Issue	GP/DP	MG	08/10/21
1	Approved for construction	GP/DP	MG	11/02/22
2	As constructed	GP/DP	MG	17/10/22



Principal

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Council City of Casey		Scale @ A1: 1:5000	
Project Octave at Junction Village Stage 6			
Title Locality Plan, Drawing Index & General Notes		Drawing No. 0329-06-R01	
Designed: G.Pratt	Authorised: M.Graham	Sheet 01 of 23	Rev 2
Drafted: D.Pratt	Date: October 2021		



FOR CONTINUATION REFER TO 0329-06-R03

SERVICES OFFSET SCHEDULE

STREET NAME	ROAD RESERVE	BACK OF KERB	SEWER	GAS	NON DRINKING WATER	DRINKING WATER	COMMUNICATIONS	ELECTRICITY	LIGHT POLES
ENSEMBLE WAY	18.00	5.20	1.00 S	2.10 N	2.60 N	3.10 N	1.85 S	2.60 S	4.30 S
MELODY WAY	18.00	5.20	-	2.10 S	2.60 S	3.10 S	1.85 N	2.60 N	4.30 N
SYMPHONY PARKWAY	15.00	2.20 W / 5.20 E	-	2.10 E	2.60 E	3.10 E	0.40 W	1.00 W	1.30 W
VIVALDI DRIVE	18.00	5.20	1.00 W	2.10 W	2.60 W	3.10 W	1.85 E	2.60 E	4.30 E

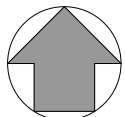
NOTE: TREE PROTECTION ZONE
TREE PROTECTION ZONES TO BE FENCED PRIOR TO CONSTRUCTION COMMENCING. NO ACCESS IS PERMITTED WITHIN TREE PROTECTION ZONES.

NOTE: HOUSE DRAINS
1. HOUSE DRAINS FOR LOTS 605 AND 622 TO BE CONNECTED TO EXISTING PIT.
2. HOUSE DRAIN TO LOT 610 TO BE OFFSET 6.0m FROM THE SIDE BOUNDARY.

NOTE: FENCING
1. VEHICLE EXCLUSION MEASURES WHERE ROADS ABOUT A RESERVE ARE TO FORM PART OF THE LANDSCAPE WORKS.
2. EXISTING FARM FENCING WITHIN THE WORKS AREA ARE TO BE REMOVED AND DISPOSED OFFSITE.

WARNING
BEWARE OF UNDERGROUND SERVICES
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No guarantee is given that all existing services are shown. Locate all underground services before commencement of works.
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Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Drainage — H —> Ex D —> Drainage — H —> Existing Surface Level at Title 135.12
1	Approved for construction	GP/DP	MG	11/02/22	Existing Sewer — S —> Ex S —> Main Drainage — H —> Finished Surface at Title FS135.12
2	Western reserve levels amended	GP/DP	MG	24/07/22	Existing Gas — G —> Ex G —> Level at Top/Toe of Batter/Ridge FT135.12
3	As constructed	GP/DP	MG	17/10/22	Existing Electricity U/G — E —> Ex E —> Swale Drain —> Centreline Chainage CH50.370
4	Fill extents amended	GP	MG	20/03/23	Existing Electricity O/H — OH E —> Gas & Water Conduits — GW —> 1% AEP Flood Level FL135.12
					Existing Communications — Ex T —> Direction of Lot Fall —> Retaining Wall —>
					Existing Drinking Water — Ex DW —> Direction of Overland Flow —> PSM / TBM —>
					Existing Non Drinking Water — Ex NDW —> Allotment to be Evenly Graded —> Structural Fill > 200mm —>
					Existing Swale Drain —> Vehicle Crossings —> Concrete Infill —>




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Council City of Casey
Project **Octave at Junction Village Stage 6**
Title Layout Plan
Sheet 1 of 2
Designed: G.Pratt
Drafted: D.Pratt
Authorised: M.Graham
Date: October 2021

Scale @ A1: 1:500
0 5 10 15 20 25
Drawing No. **0329-06-R02**
Sheet 02 of 23
Rev **4**



 TREE PROTECTION ZONES TO BE FENCED PRIOR TO CONSTRUCTION COMMENCING. NO ACCESS IS PERMITTED WITHIN TREE PROTECTION ZONES.

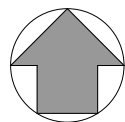
1. HOUSE DRAINS FOR LOTS 605 AND 622 TO BE CONNECTED TO EXISTING PIT.
2. HOUSE DRAIN TO LOT 610 TO BE OFFSET 6.0m FROM THE SIDE BOUNDARY.

1. VEHICLE EXCLUSION MEASURES WHERE ROADS ABOUT A RESERVE ARE TO FORM PART OF THE LANDSCAPE WORKS.
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Rev	Amendment	Des/Dft	App'd	Date	Legend					
A	Initial Issue	GP/DP	MG	08/10/21	Existing Drainage		Drainage		Existing Surface Level at Title	135.12
1	Approved for construction	GP/DP	MG	11/02/22	Existing Sewer		Main Drainage		Finished Surface at Title	FS135.12
2	Western reserve levels amended	GP/DP	MG	24/07/22	Existing Gas		Sewer		Level at Top/Toe of Batter/Ridge	FT135.12
3	As constructed	GP/DP	MG	17/10/22	Existing Electricity U/G		Swale Drain		Centreline Chaining	CH50.370
4	Fill extents amended	GP	MG	20/03/23	Existing Electricity O/H		Gas & Water Conduits		1% AEP Flood Level	FL135.12
					Existing Communications		Direction of Lot Fall		Retaining Wall	
					Existing Drinking Water		Direction of Overland Flow		PSM / TBM	
					Existing Non Drinking Water		Allotment to be Evenly Graded		Structural Fill > 200mm	
					Existing Swale Drain		Vehicle Crossings		Concrete Infill	

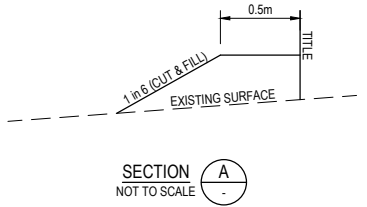


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Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: October 2021

Sheet	Re
03 of 23	4

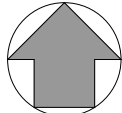


NOTE: TREE PROTECTION ZONE
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FOR CONTINUATION REFER TO 0329-06-R05

Rev	Amendment	Des/Dft	App'd	Date	Legend			
A	Initial Issue	GP/DP	MG	08/10/21	Drain & Property Inlet		Existing Surface Level at Title	47.01
1	Approved for construction	GP/DP	MG	11/02/22	House Drain		Finished Surface at Title	FS47.01
2	Western reserve levels amended	GP/DP	MG	24/07/22	Sewer		Level at Top/Toe of Batter/Ridge	FT47.01
3	As constructed	GP/DP	MG	17/10/22	Swale Drain		Top of Wall Level	TW47.01
					Existing Drain		Bottom of Wall Level	BW47.01
					Existing House Drain		Design Contours	47.01
					Existing Sewer		Existing Contours	47.01
					Existing Swale Drain		Batter	47.01
					Vehicle Crossings		Ridge	47.01



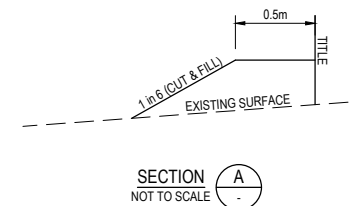
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Council City of Casey
Project **Octave at Junction Village Stage 6**
Title Allotment Benching Plan Sheet 1 of 2
Designed: G.Pratt
Drafted: D.Pratt
Authorised: M.Graham
Date: October 2021

Scale @ A1: 1:500
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Drawing No. **0329-06-R04**
Sheet 04 of 23
Rev **3**

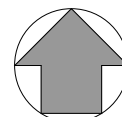
FOR CONTINUATION REFER TO 0329-06-R04



NOTE: TREE PROTECTION ZONE
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Rev	Amendment	Des/Dft	App'd	Date	Legend		
A	Initial Issue	GP/DP	MG	08/10/21	Drain & Property Inlet	Existing Surface Level at Title	Sleeper Retaining Wall
1	Approved for construction	GP/DP	MG	11/02/22	House Drain	Finished Surface at Title	Rock Retaining Wall
2	Western reserve levels amended	GP/DP	MG	24/07/22	Sewer	Level at Top/Toe of Batter/Ridge	Direction of Lot Fall
3	As constructed	GP/DP	MG	17/10/22	Swale Drain	Top of Wall Level	Allotment to be Evenly Graded
					Existing Drain	Bottom of Wall Level	
					Existing House Drain	Design Contours	
					Existing Sewer	Existing Contours	
					Existing Swale Drain	Batter	
					Vehicle Crossings	Ridge	



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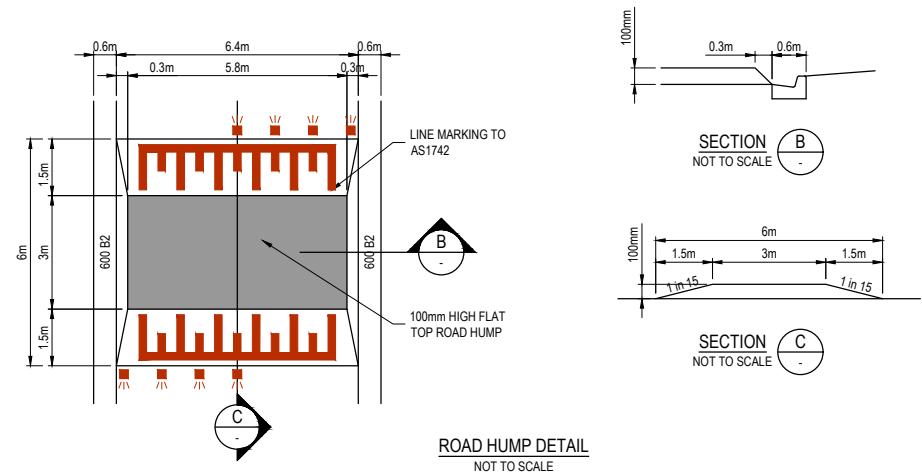
Council City of Casey
Project **Octave at Junction Village Stage 6**
Title Allotment Benching Plan Sheet 2 of 2
Designed: G.Pratt
Drafted: D.Pratt
Authorised: M.Graham
Date: October 2021

Scale @ A1: 1:500
0 5 10 15 20 25
Drawing No. **0329-06-R05**
Sheet 05 of 23
Rev **3**

PAVEMENT COMPOSITIONS

ENSEMBLE WAY, MELODY WAY, SYMPHONY PARKWAY & VIVALDI DRIVE		
WEARING COURSE ASPHALT	25	SIZE 10 TYPE L ASPHALT (CLASS 170 BINDER)
BASE COURSE ASPHALT	35	SIZE 14 TYPE N ASPHALT (CLASS 170 BINDER)
	10	SIZE 10 S18RF SAMI (APPLICATION RATE ≥ 1.8 l/m²)
		PRIME COAT
BASE	130	SIZE 20 CLASS 2 FINE CRUSHED ROCK (COMPACTED TO 99% MODIFIED)
SUBBASE	120	SIZE 40 CLASS 3 FINE CRUSHED ROCK (COMPACTED TO 98% MODIFIED)
SUBGRADE	350	STABILISED SUBGRADE (CBR≥15%)
TOTAL DEPTH	670	SUBGRADE IMPROVEMENT AS DIRECTED BY THE SUPERINTENDENT (CBR≥4%)

- NOTES:
- REFER TO GROUND SCIENCE GEOTECHNICAL INVESTIGATION (REPORT REFERENCE G4027.1AA) FOR ADDITIONAL DETAILS ON PAVEMENT CONSTRUCTION.
 - CAPPING LAYER MATERIAL TO COMPLY WITH THE FOLLOWING:
 - CBR ≥ 8%
 - SWELL ≤ 1.5
 - PERMEABILITY $K \leq 5 \times 10^{-9}$ m/s
 - COMPACTED TO A MINIMUM DENSITY RATIO OF 98% AS PER AS1289.



- NOTE: ROAD HUMPS
- REFER TO COUNCIL STANDARD DRAWING S-813A FOR FURTHER DETAILS.
 - FLAT TOP TO BE PROVIDED WITH HIGH FRICTION SURFACE TREATMENT COLOURED YELLOW. INSTALLATION TO COMPLY WITH VICROADS STANDARD SECTION 430 FOR HIGH FRICTION SURFACE TREATMENT TO MANUFACTURERS SPECIFICATION.
 - FOR TYPE 1 HUMPS, THE HIGH FRICTION SURFACE IS TO EXTEND TO THE BACK OF THROUGH PATH

Rev	Amendment	Des/Dft	App'd	Date
A	Initial Issue	GP/DP	MG	08/10/21
1	Approved for construction	GP/DP	MG	11/02/22
2	As constructed	GP/DP	MG	17/10/22

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OCTAVE

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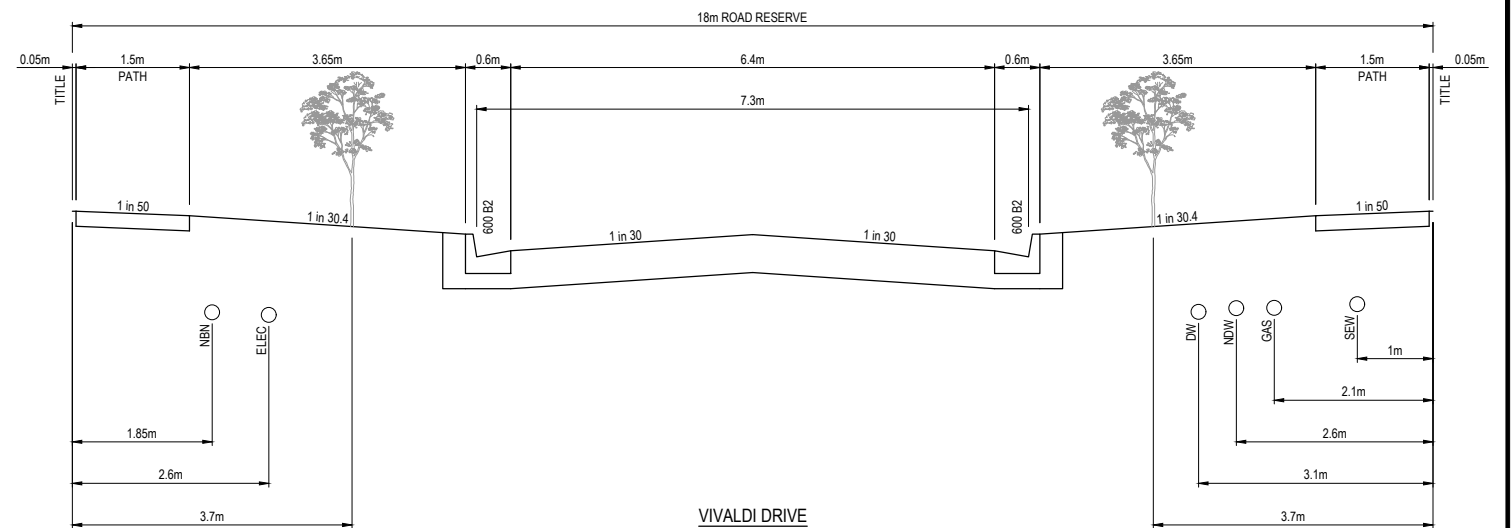
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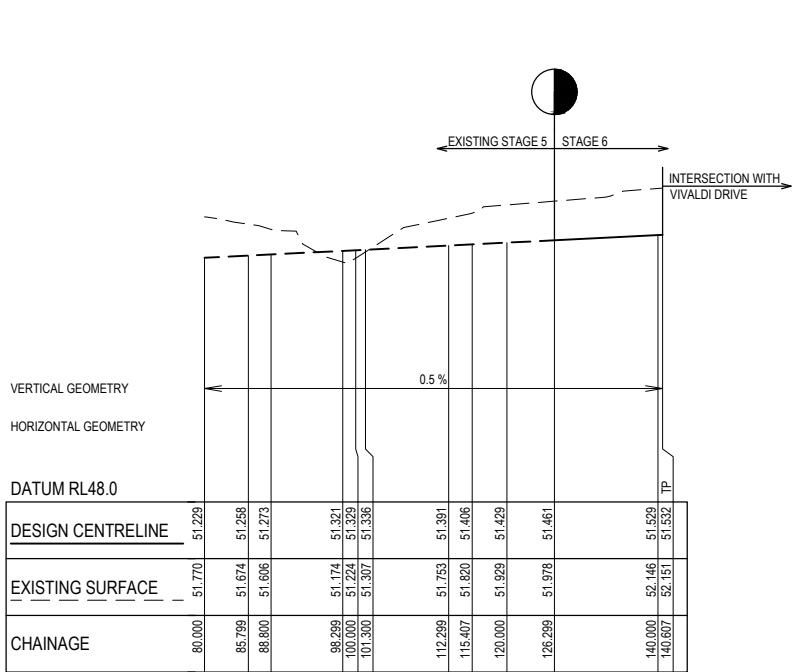
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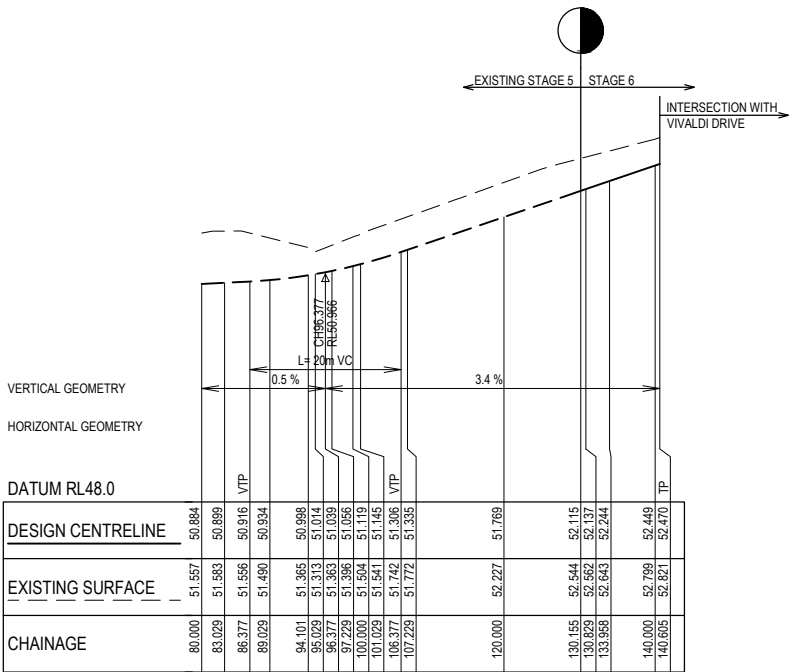
Council		City of Casey		Scale @ A1: As Shown	
Project		Octave at Junction Village Stage 6			
Title		Pavement Compositions & Details		Drawing No. 0329-06-R06	
Designed: G.Pratt		Authorised: M.Graham		Sheet 06 of 23	Rev 2
Drafted: D.Pratt		Date: October 2021			



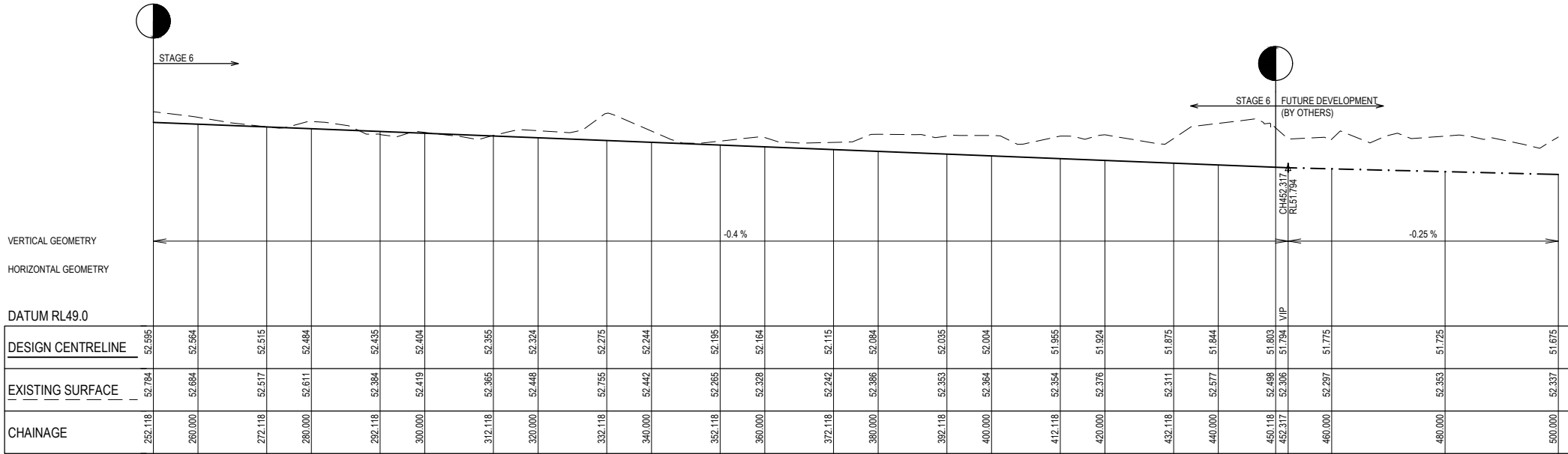
Rev	Amendment	Des/Dft	App'd	Date		<div>Principal</div> <div><div><div>OCTAVE</div><div>AT JUNCTION VILLAGE</div></div><div><div>Jinding Australia Level 53, 525 Collins Street Melbourne Vic 3000</div></div></div> <div><div><div>GPR Consulting</div><div><div>GPR Consulting Pty Ltd ABN 98 140 136 205 Suite 217, 202 Jells Road Whealers Hill Vic 3150 Telephone 0456 634 727</div></div><div>© GPR Consulting Pty Ltd</div></div></div>	Council City of Casey		Scale @ A1: H1:50 V1:25		
A	Initial Issue	GP/DP	MG	08/10/21			Project	Octave at Junction Village Stage 6		<div><div>H00.511.522.5</div><div>V00.250.50.7511.25</div></div>	
1	Approved for construction	GP/DP	MG	11/02/22			Title	Typical Sections		Drawing No. 0329-06-R07	
2	As constructed	GP/DP	MG	17/10/22			Designed: G.Pratt	Authorised: M.Graham	Sheet	Rev	
							Drafted: D.Pratt	Date: October 2021	07 of 23	2	



ENSEMBLE WAY LONGITUDINAL SECTION



MELODY WAY LONGITUDINAL SECTION



RESERVE LONGITUDINAL SECTION

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface — — — —
1	Approved for construction	GP/DP	MG	11/02/22	Design Line —————
2	Reserve longitudinal section amended	GP/DP	MG	24/07/22	Existing Design Line - - - - -
3	As constructed	GP/DP	MG	17/10/22	Future Design Line — · — · —

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OCTAVE

AT JUNCTION VILLAGE


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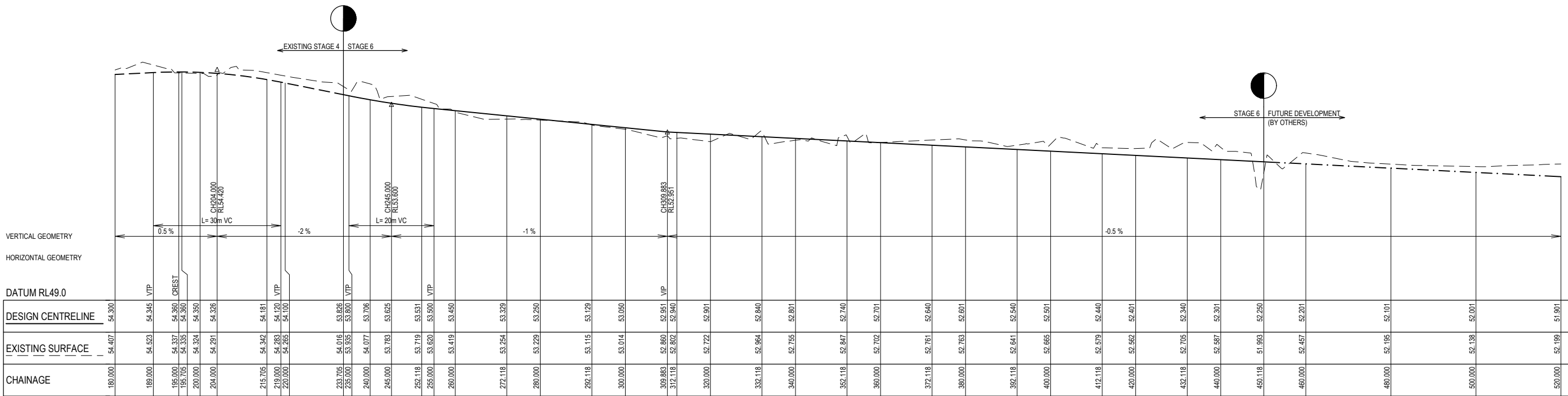
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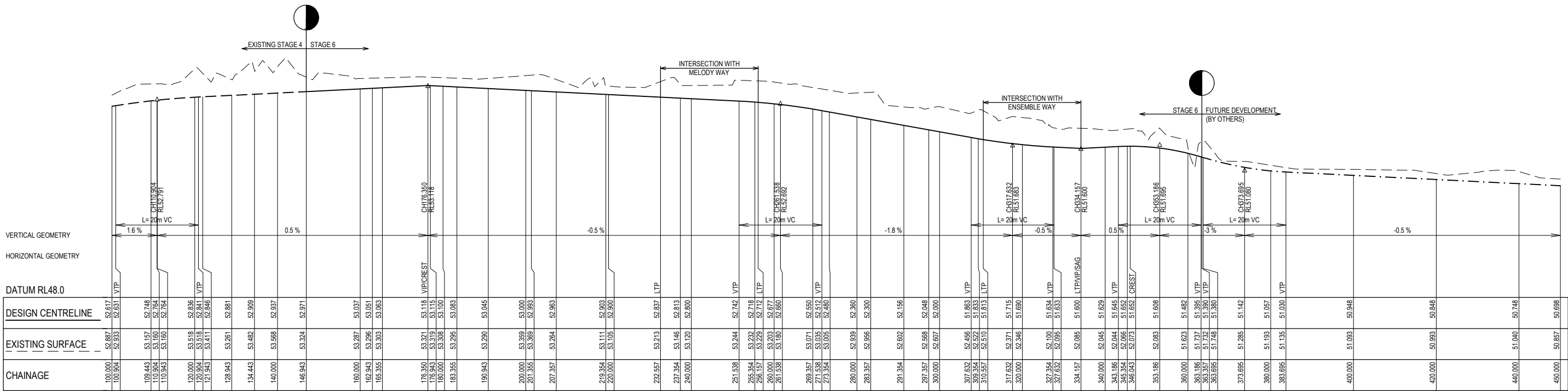
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Project	Octave at Junction Village Stage 6
Title	Longitudinal Sections Sheet 1 of 2
Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: October 2021

Scale @ A1: H1:500 V1:50	
	
Drawing No. 0329-06-R08	
Sheet 08 of 23	Rev 3



SYMPHONY PARKWAY LONGITUDINAL SECTION



VIVALDI DRIVE LONGITUDINAL SECTION

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface
1	Approved for construction	GP/DP	MG	11/02/22	Design Line
2	As constructed	GP/DP	MG	17/10/22	Existing Design Line
					Future Design Line

Principal

OCTAVE


AT JUNCTION VILLAGE

Jinding Australia
Level 53, 525 Collins Street
Melbourne Vic 3000

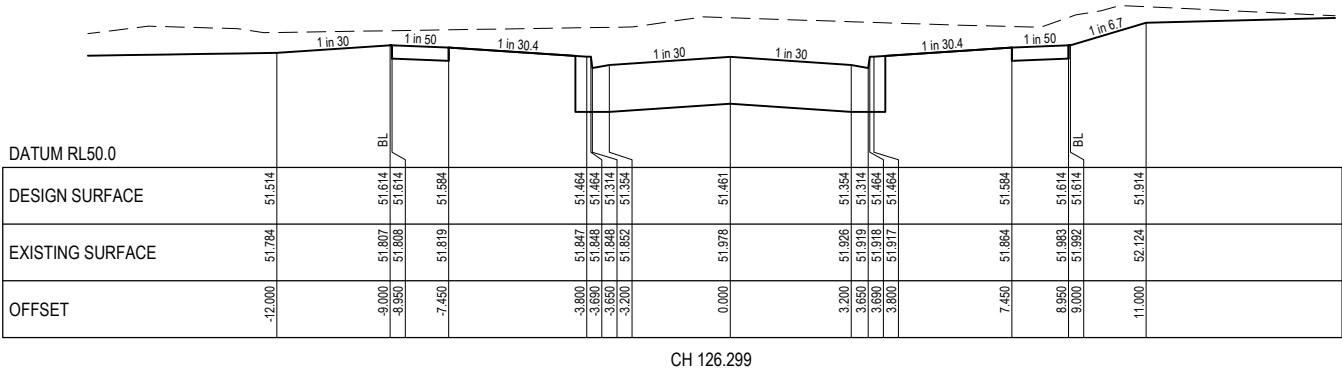
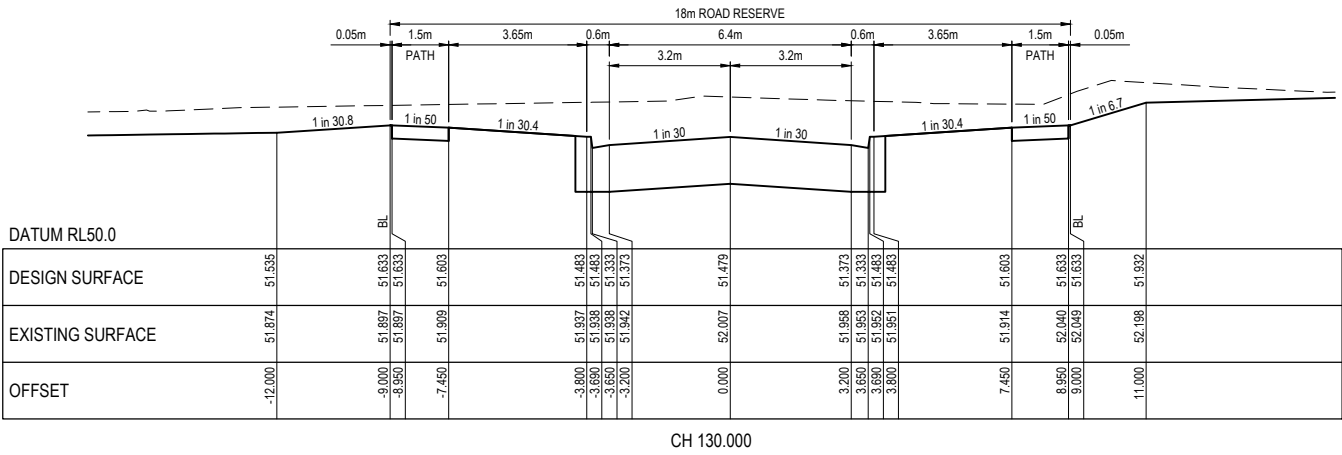
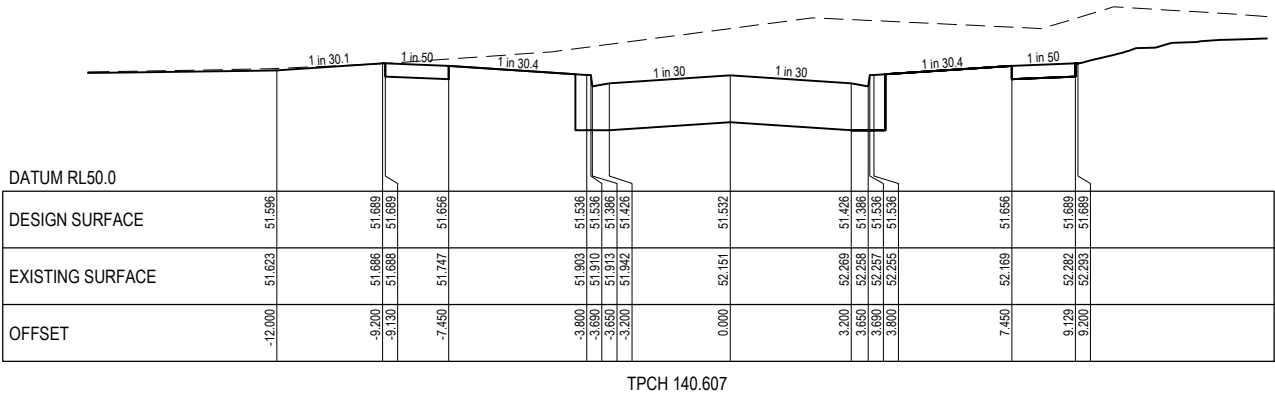
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Suite 217, 202 Jells Road
Wheeler Hill Vic 3150
Telephone 0456 634 727
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Council	City of Casey
Project	Octave at Junction Village Stage 6
Title	Longitudinal Sections Sheet 2 of 2
Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: October 2021

Scale @ A1: H1:500 V1:50	
	
Drawing No. 0329-06-R09	
Sheet 09 of 23	Rev 2

NOTE:
WHERE ROAD PAVEMENT OR FOOTPATH IS ABOVE THE STRIPPED
SURFACE IT IS TO BE FILLED WITH APPROVED TYPE A MATERIAL
WITH A 45° ANGLE OF REPOSE.



Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface — — —
1	Approved for construction	GP/DP	MG	11/02/22	Design Line ———
2	As constructed	GP/DP	MG	17/10/22	Future Surface — · —
					1% AEP Level ——— FL131.66

Principal

OCTAVE

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Council	City of Casey
Project	Octave at Junction Village Stage 6
Title	Cross Sections Ensemble Way
Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: October 2021

Scale @ A1: H1:100 V1:50

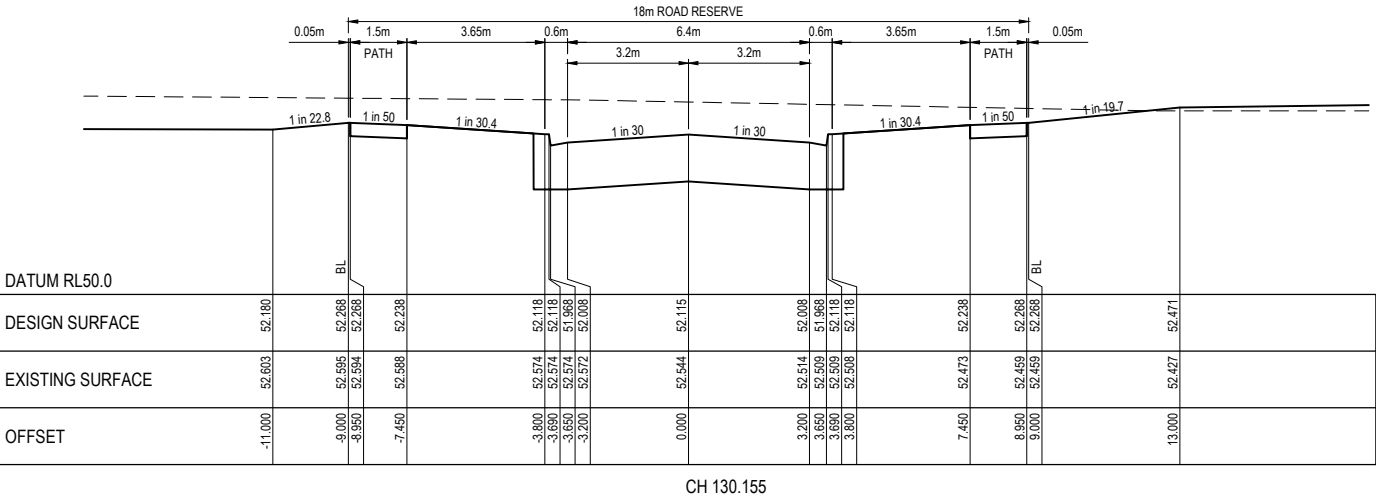
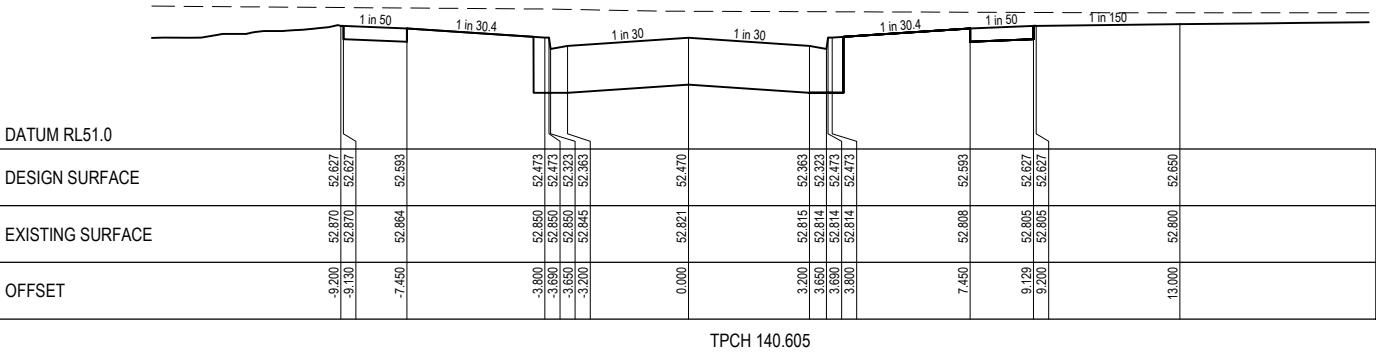
H 0 1 2 3 4 5
V 0 0.5 1 1.5 2 2.5

Drawing No.
0329-06-R10

Sheet
10 of 23

Rev
2

NOTE:
WHERE ROAD PAVEMENT OR FOOTPATH IS ABOVE THE STRIPPED
SURFACE IT IS TO BE FILLED WITH APPROVED TYPE A MATERIAL
WITH A 45° ANGLE OF REPOSE.



Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface — — —
1	Approved for construction	GP/DP	MG	11/02/22	Design Line ———
2	As constructed	GP/DP	MG	17/10/22	Future Surface — · —
					1% AEP Level ——— FL131.65

Principal

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Melbourne Vic 3000

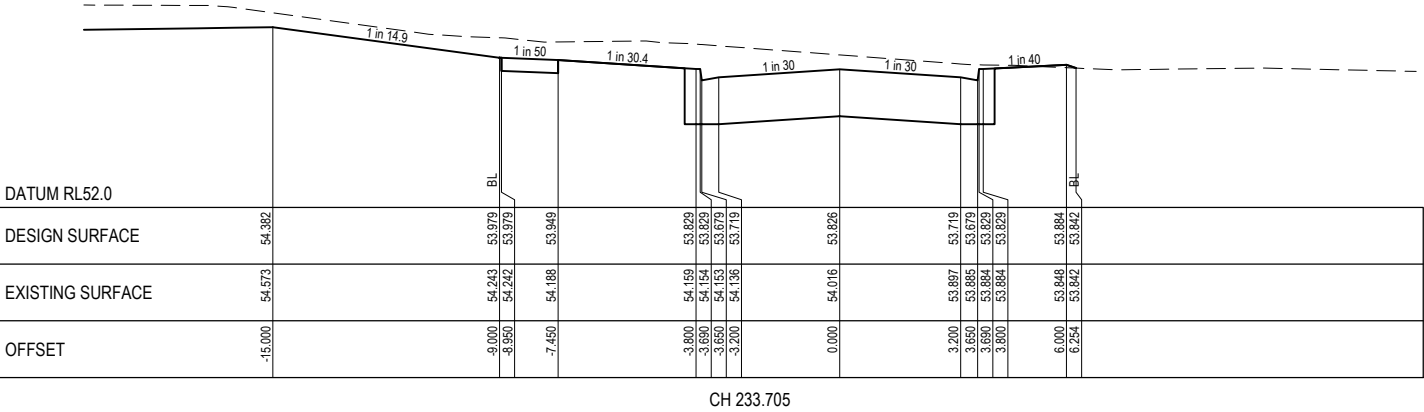
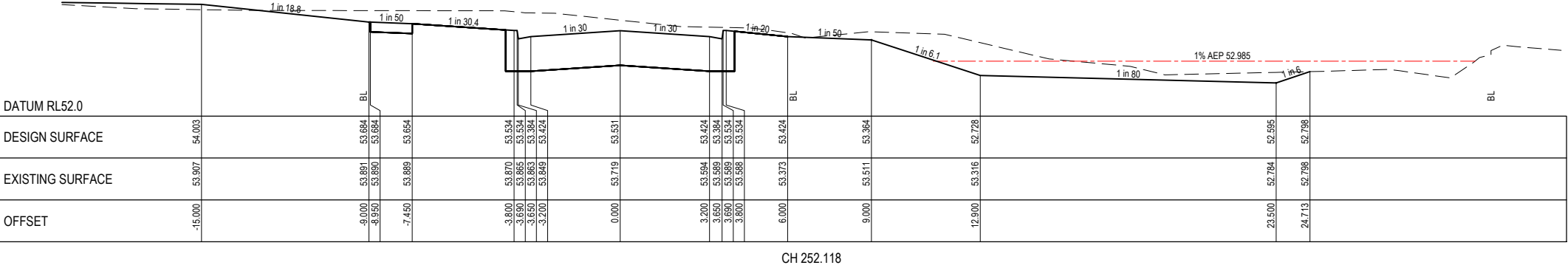
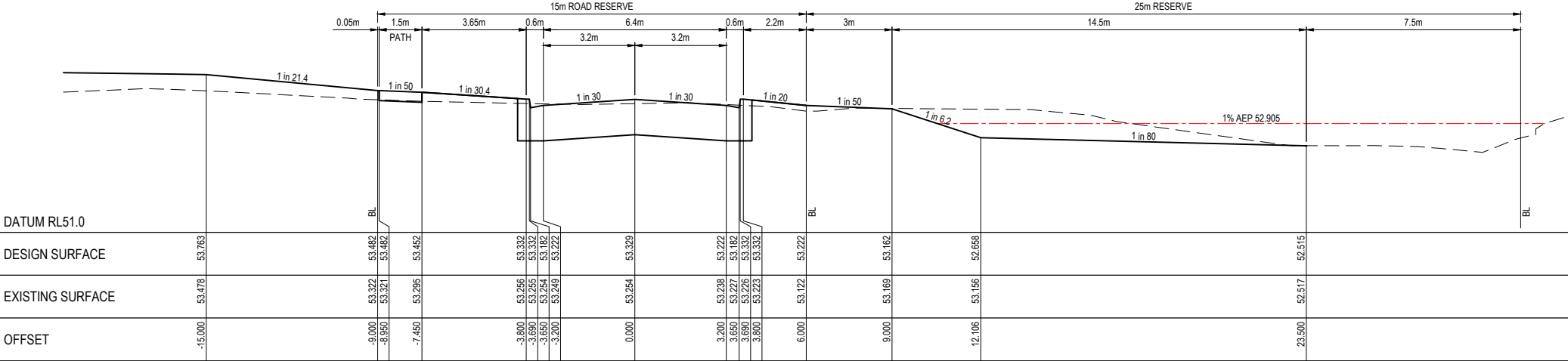
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Council	City of Casey	Scale @ A1:	H1:100 V1:50
Project	Octave at Junction Village Stage 6	H 0 1 2 3 4 5 V 0 0.5 1 1.5 2 2.5	
Title	Cross Sections Melody Way	Drawing No.	0329-06-R11
Designed: G.Pratt	Authorised: M.Graham	Sheet	11 of 23
Drafted: D.Pratt	Date: October 2021	Rev	2

NOTE:
WHERE ROAD PAVEMENT OR FOOTPATH IS ABOVE THE STRIPPED
SURFACE IT IS TO BE FILLED WITH APPROVED TYPE A MATERIAL
WITH A 45° ANGLE OF REPOSE.



Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface — — —
1	Approved for construction	GP/DP	MG	11/02/22	Design Line ———
2	Western reserve levels amended	GP/DP	MG	24/07/22	Future Surface - - - -
3	As constructed	GP/DP	MG	17/10/22	1% AEP Level ——— FL131.65

Principal

OCTAVE

AT JUNCTION VILLAGE

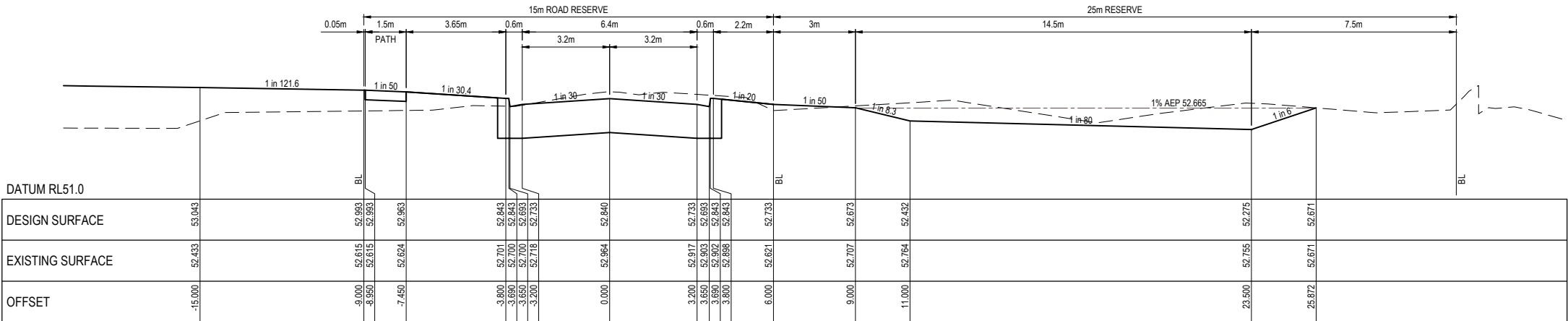
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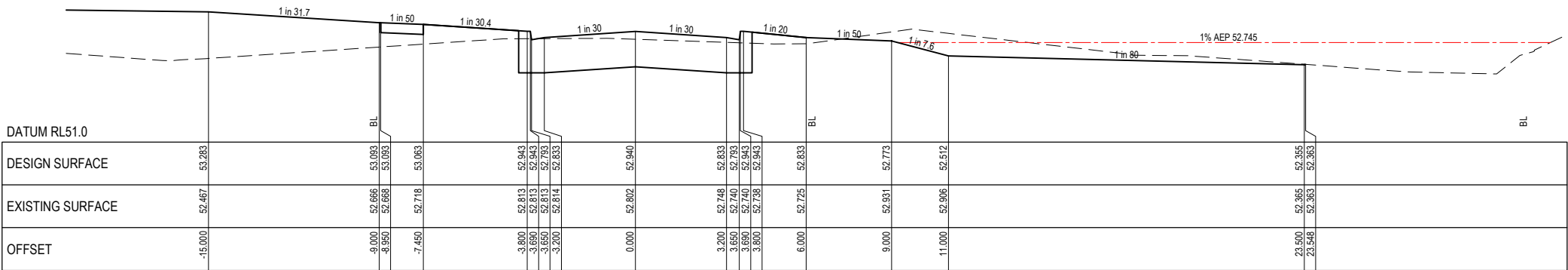
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Council	City of Casey	Scale @ A1:	H1:100 V1:50
Project	Octave at Junction Village Stage 6	H 0 1 2 3 4 5 V 0 0.5 1 1.5 2 2.5	
Title	Cross Sections Symphony Parkway - Sheet 1 of 4	Drawing No.	0329-06-R12
Designed: G.Pratt	Authorised: M.Graham	Sheet	12 of 23
Drafted: D.Pratt	Date: October 2021	Rev	3

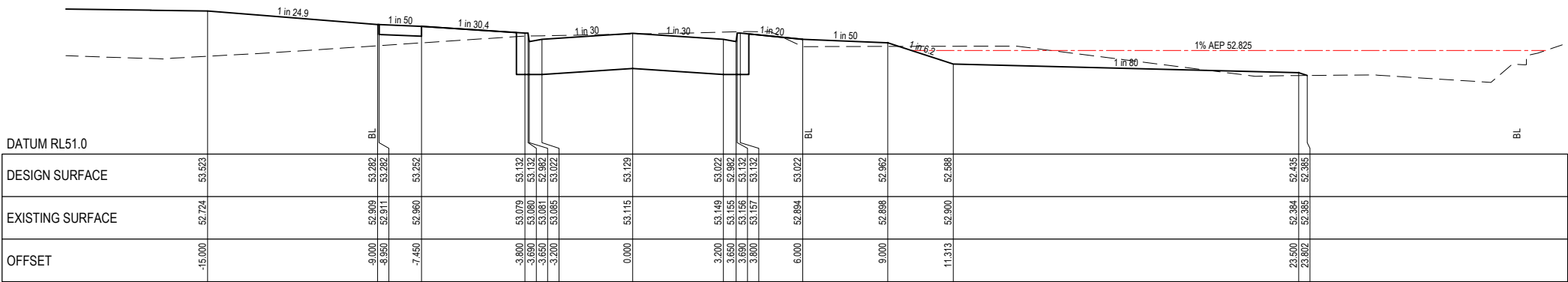
NOTE:
WHERE ROAD PAVEMENT OR FOOTPATH IS ABOVE THE STRIPPED
SURFACE IT IS TO BE FILLED WITH APPROVED TYPE A MATERIAL
WITH A 45° ANGLE OF REPOSE.



CH 332.118



CH 312.118



CH 292.118

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface — — —
1	Approved for construction	GP/DP	MG	11/02/22	Design Line ———
2	Western reserve levels amended	GP/DP	MG	24/07/22	Future Surface - - - - -
3	As constructed	GP/DP	MG	17/10/22	1% AEP Level ——— FL131.65

Principal

OCTAVE

AT JUNCTION VILLAGE

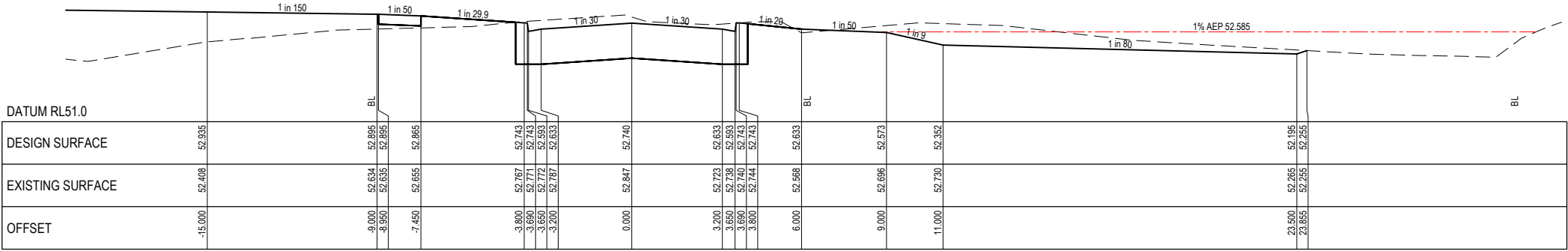
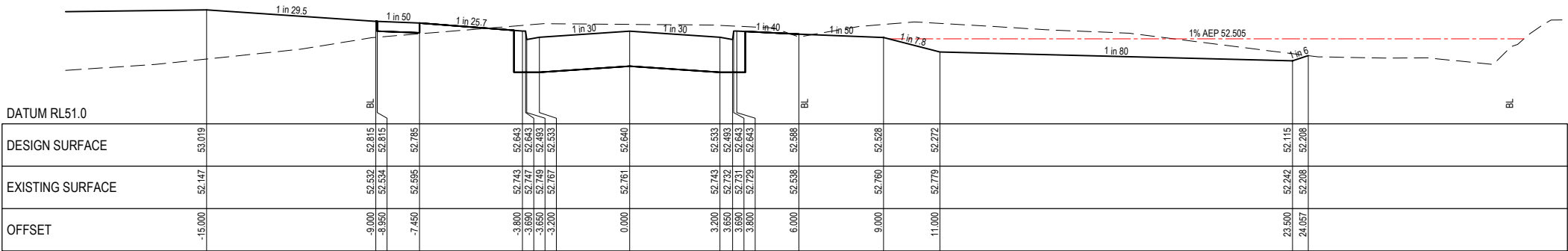
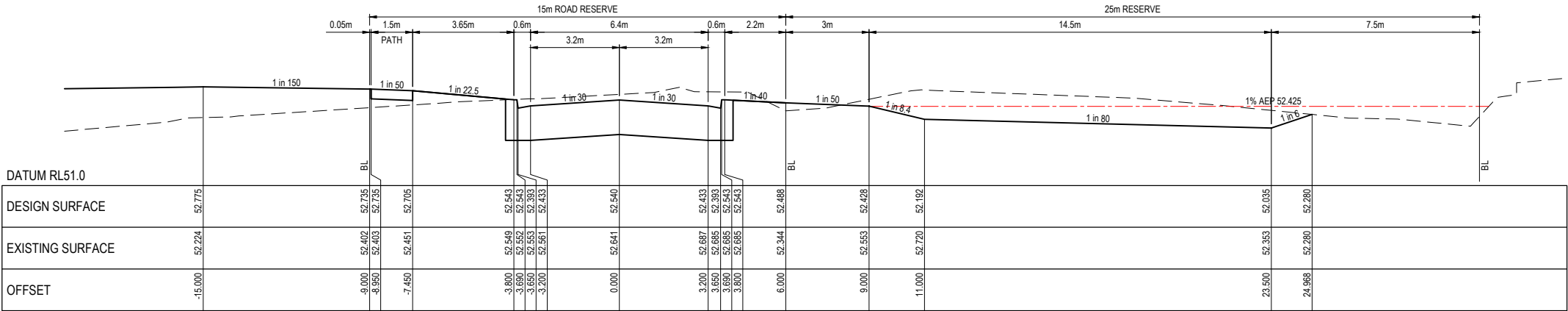
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Council	City of Casey	Scale @ A1:	H1:100 V1:50
Project	Octave at Junction Village Stage 6	H0	1 2 3 4 5 V0 0.5 1 1.5 2 2.5
Title	Cross Sections Symphony Parkway - Sheet 2 of 4	Drawing No.	0329-06-R13
Designed: G.Pratt	Authorised: M.Graham	Sheet	13 of 23
Drafted: D.Pratt	Date: October 2021	Rev	3

NOTE:
WHERE ROAD PAVEMENT OR FOOTPATH IS ABOVE THE STRIPPED
SURFACE IT IS TO BE FILLED WITH APPROVED TYPE A MATERIAL
WITH A 45° ANGLE OF REPOSE.



Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface — — —
1	Approved for construction	GP/DP	MG	11/02/22	Design Line ———
2	Western reserve levels amended	GP/DP	MG	24/07/22	Future Surface — · —
3	As constructed	GP/DP	MG	17/10/22	1% AEP Level ——— FL131.66

Principal

OCTAVE

AT JUNCTION VILLAGE

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Melbourne Vic 3000

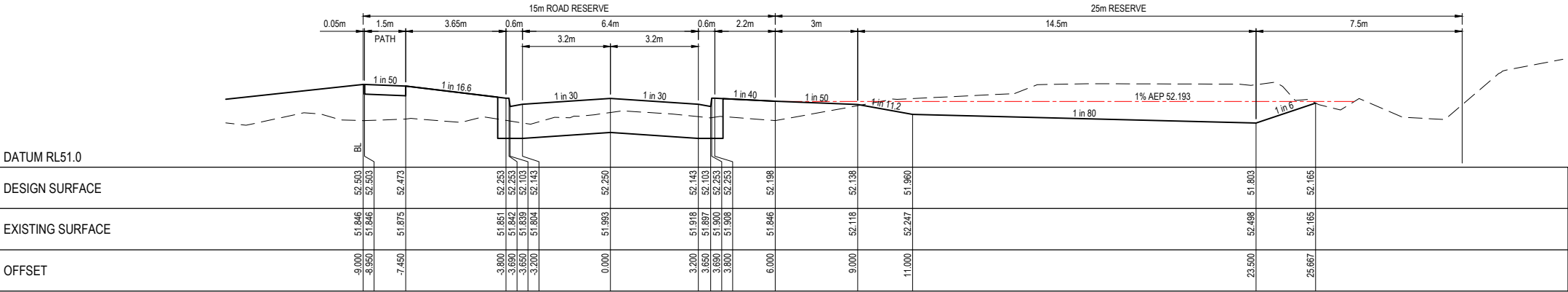
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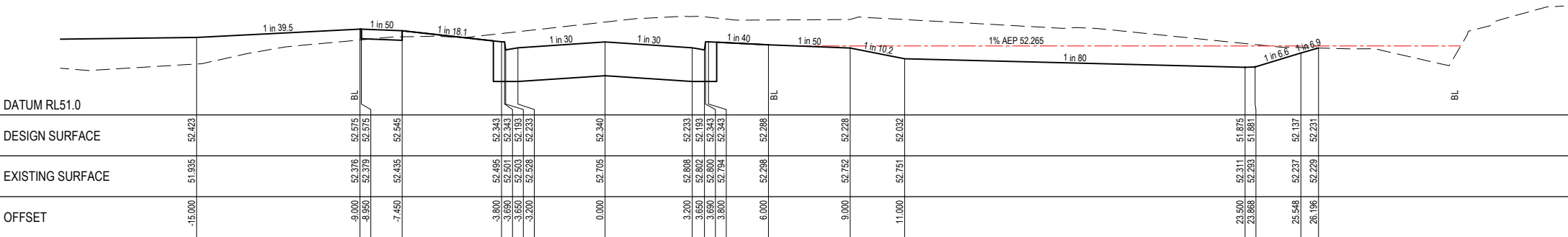
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Council	City of Casey	Scale @ A1:	H1:100 V1:50
Project	Octave at Junction Village Stage 6	H0	1 2 3 4 5 V0 0.5 1 1.5 2 2.5
Title	Cross Sections Symphony Parkway - Sheet 3 of 4	Drawing No.	0329-06-R14
Designed: G.Pratt	Authorised: M.Graham	Sheet	14 of 23
Drafted: D.Pratt	Date: October 2021	Rev	3

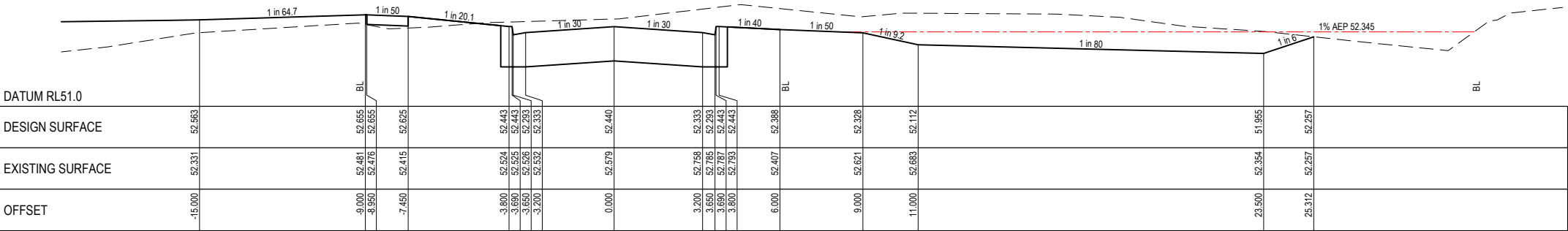
NOTE:
WHERE ROAD PAVEMENT OR FOOTPATH IS ABOVE THE STRIPPED
SURFACE IT IS TO BE FILLED WITH APPROVED TYPE A MATERIAL
WITH A 45° ANGLE OF REPOSE.



CH 450.117



CH 432.118



CH 412.118

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface
1	Approved for construction	GP/DP	MG	11/02/22	Design Line
2	Western reserve levels amended	GP/DP	MG	24/07/22	Future Surface
3	As constructed	GP/DP	MG	17/10/22	1% AEP Level

Principal

OCTAVE

AT JUNCTION VILLAGE

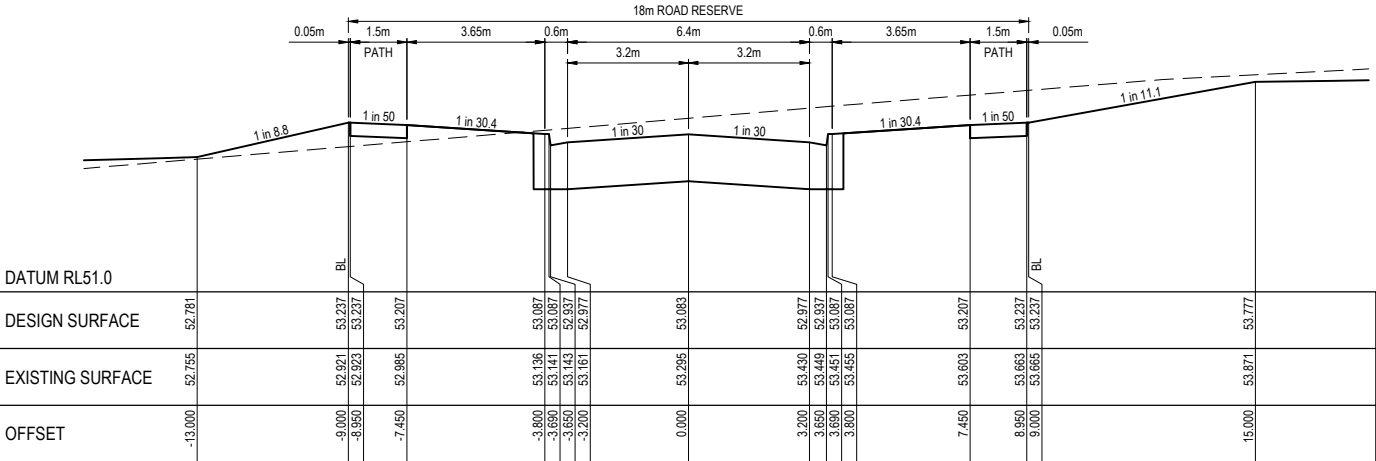
Jinding Australia
Level 53, 525 Collins Street
Melbourne Vic 3000

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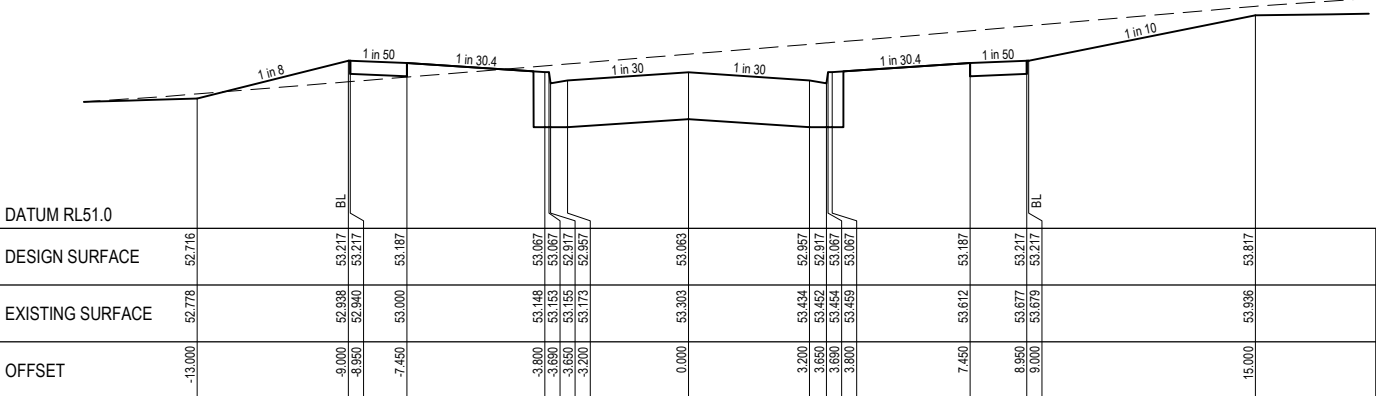
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Council	City of Casey	Scale @ A1:	H1:100 V1:50
Project	Octave at Junction Village Stage 6	H0	1 2 3 4 5 V0 0.5 1 1.5 2 2.5
Title	Cross Sections Symphony Parkway - Sheet 4 of 4	Drawing No.	0329-06-R15
Designed: G.Pratt	Authorised: M.Graham	Sheet	15 of 23
Drafted: D.Pratt	Date: October 2021	Rev	3

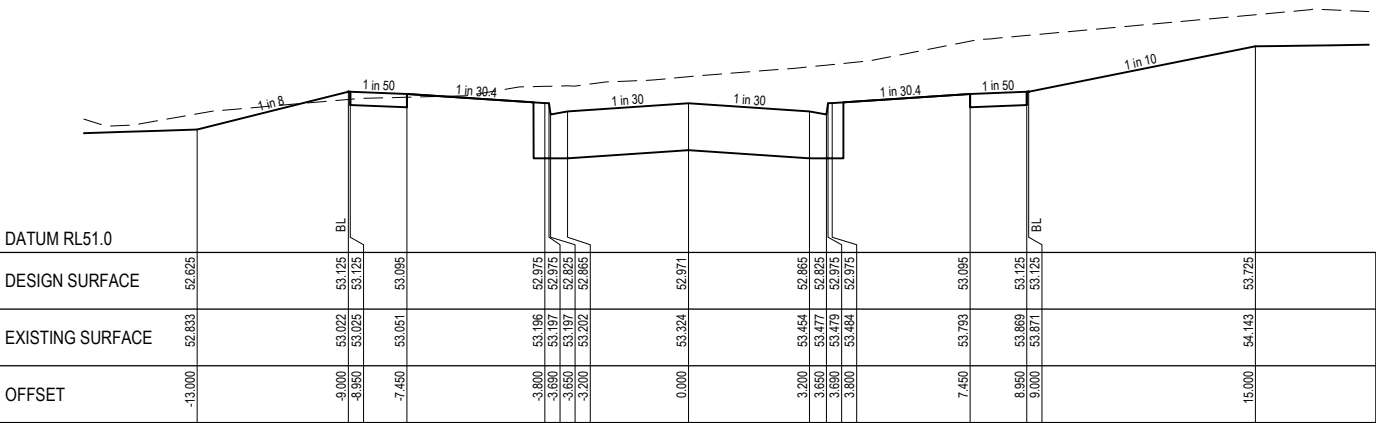
NOTE:
WHERE ROAD PAVEMENT OR FOOTPATH IS ABOVE THE STRIPPED
SURFACE IT IS TO BE FILLED WITH APPROVED TYPE A MATERIAL
WITH A 45° ANGLE OF REPOSE.



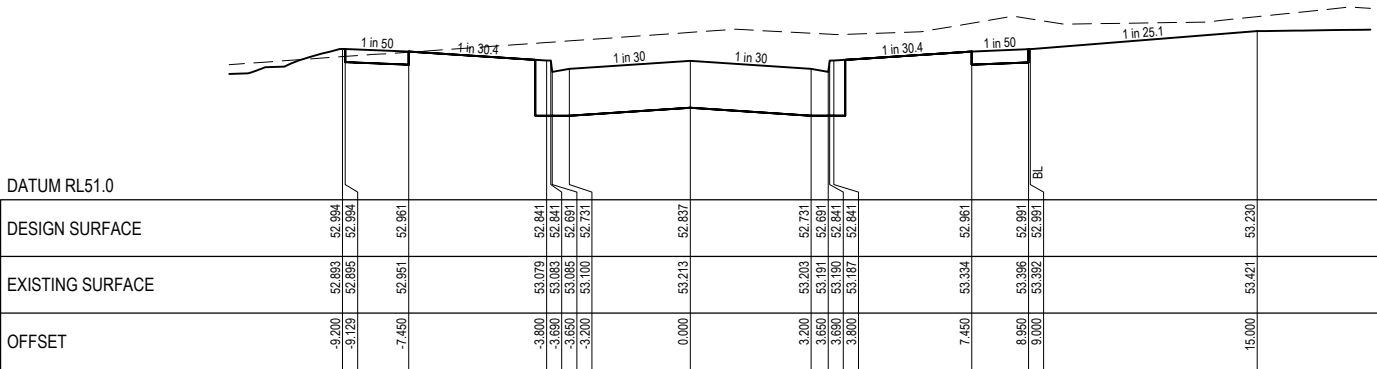
CH 183.355



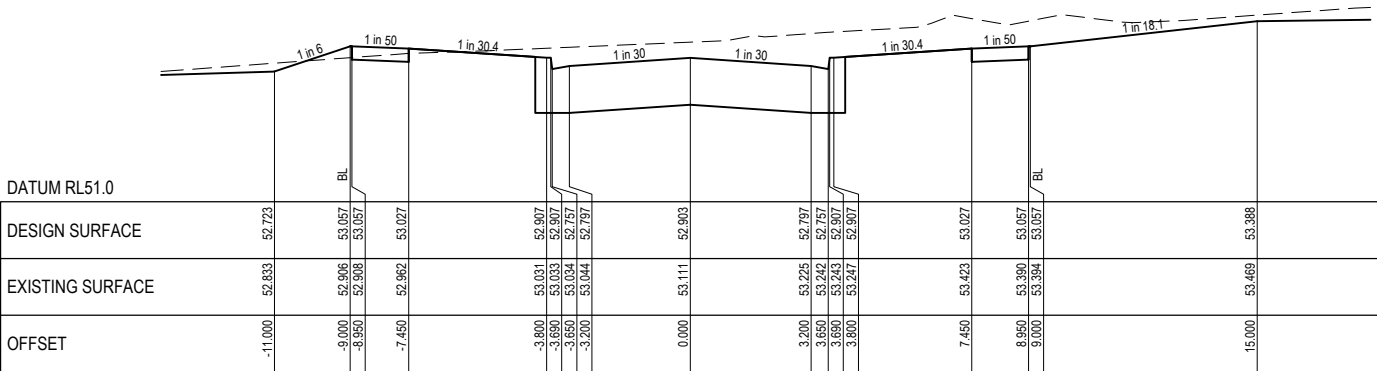
CH 165.355



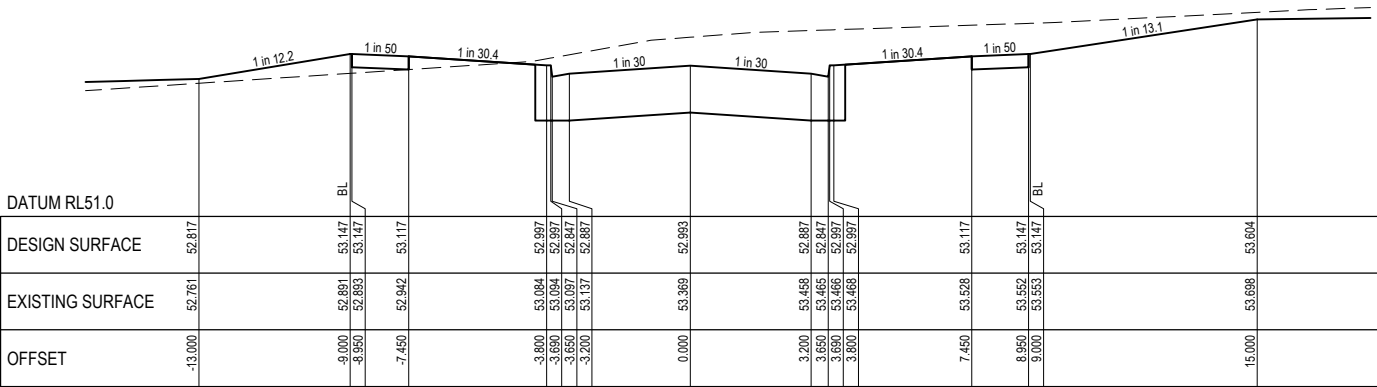
CH 146.943



LTPCH 232.557



CH 219.354



CH 201.355

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface — — —
1	Approved for construction	GP/DP	MG	11/02/22	Design Line ———
2	As constructed	GP/DP	MG	17/10/22	Future Surface - - - - -
					1% AEP Level ——— FL131.65

Principal

OCTAVE

AT JUNCTION VILLAGE


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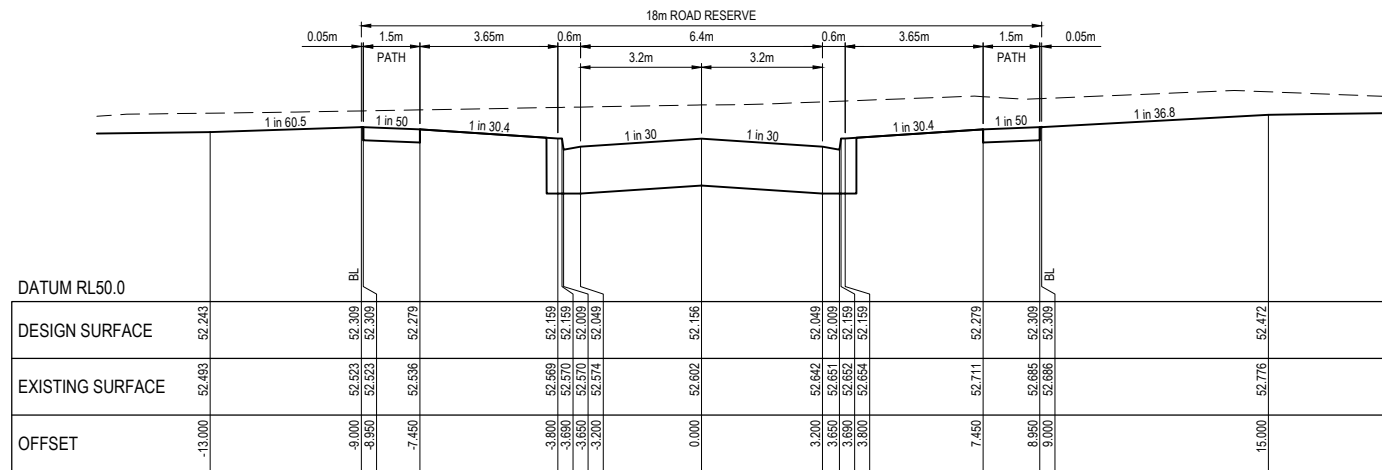
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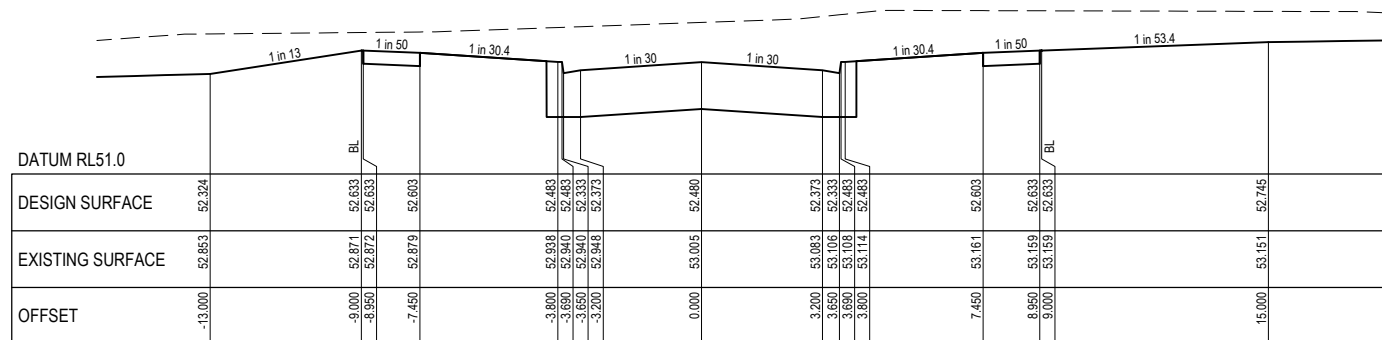
Council	City of Casey
Project	Octave at Junction Village Stage 6
Title	Cross Sections Vivaldi Drive - Sheet 1 of 2
Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: October 2021

Scale @ A1: H1:100 V1:50	
	
Drawing No.	
0329-06-R16	
Sheet	Rev
16 of 23	2

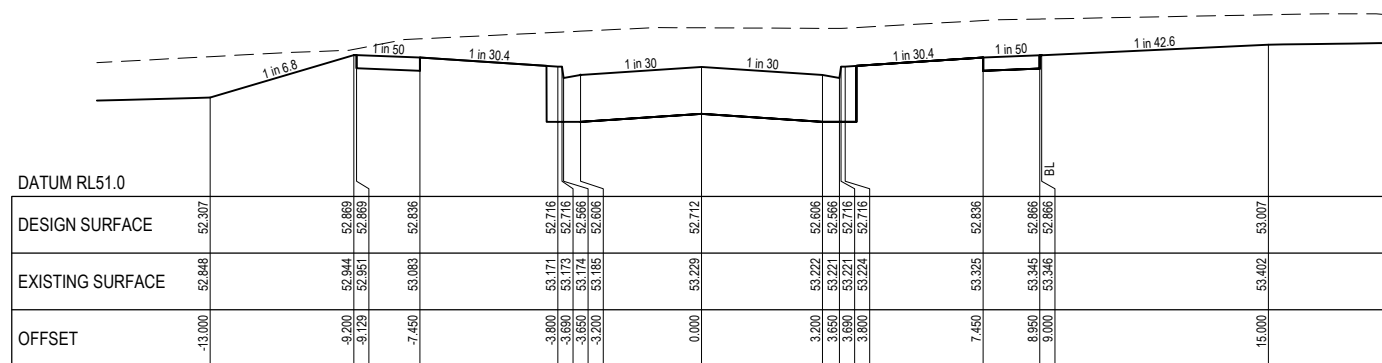
NOTE:
WHERE ROAD PAVEMENT OR FOOTPATH IS ABOVE THE STRIPPED SURFACE IT IS TO BE FILLED WITH APPROVED TYPE A MATERIAL WITH A 45° ANGLE OF REPOSE.



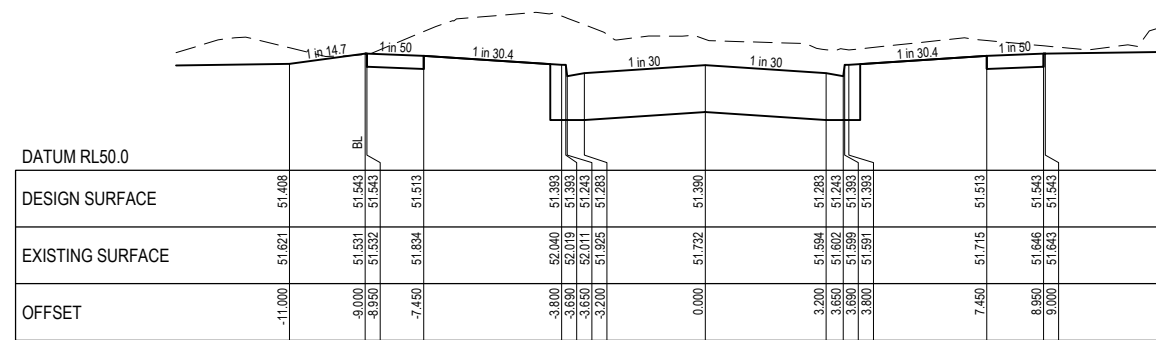
CH 291.354



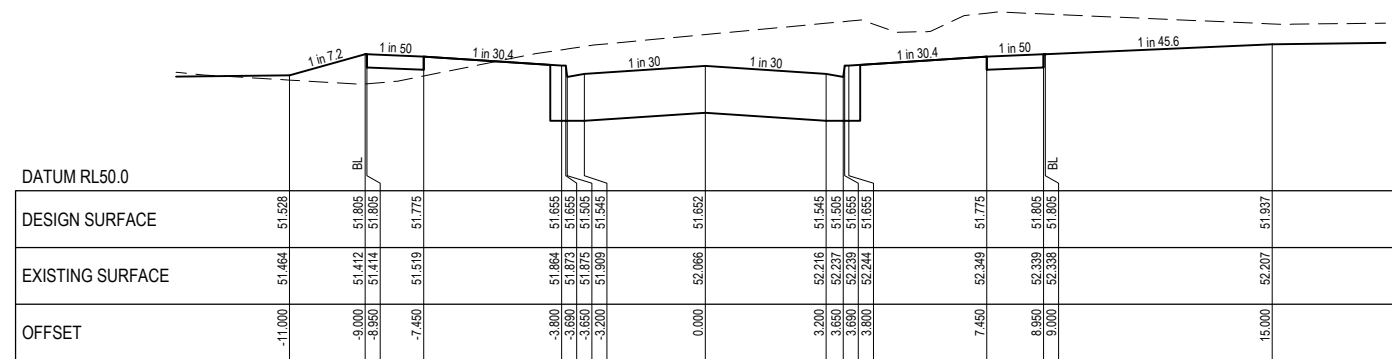
CH 273.354



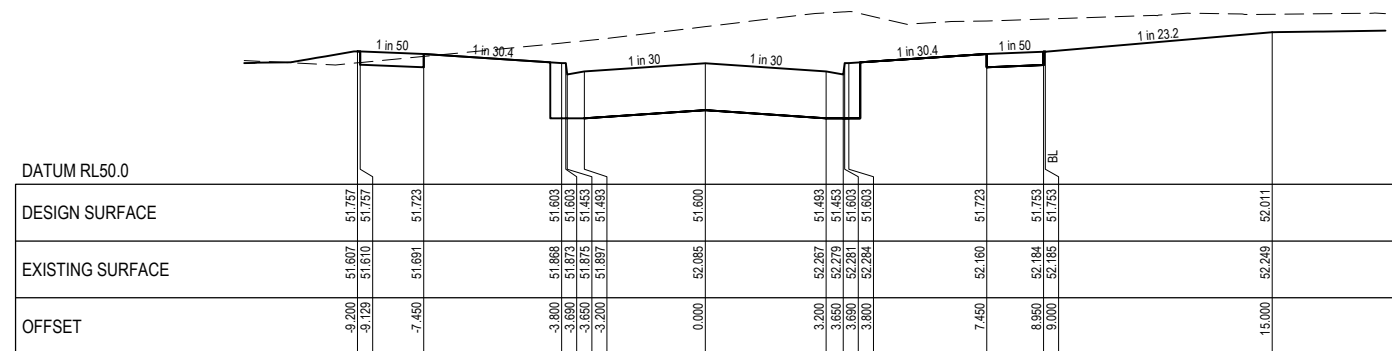
LTPCH 256.157



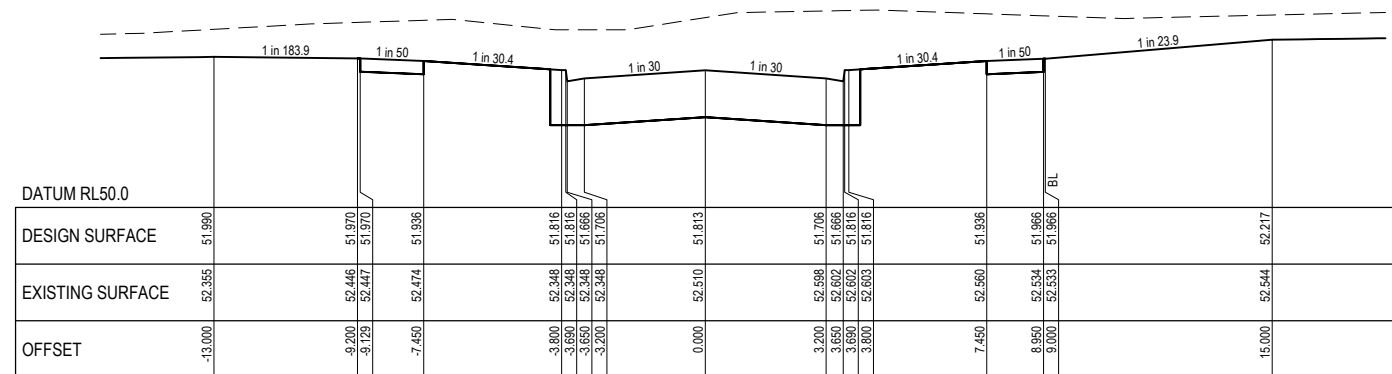
CH 363.357



CH 345.354



LTPCH 334.157



LTPCH 310.557

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface — — —
1	Approved for construction	GP/DP	MG	11/02/22	Design Line ———
2	As constructed	GP/DP	MG	17/10/22	Future Surface - - - - -
					1% AEP Level ——— FL131.65

Principal	
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AT JUNCTION VILLAGE

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	Council
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City of Casey

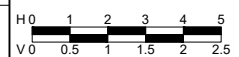
Project	Octave at Junction Village Stage 6
---------	---

Title	Cross Sections Vivaldi Drive - Sheet 2 of 2
-------	--

Designed: G.Pratt

Authorised: M.Graham
Date: October 2021

Scale @ A1: H1:100 V1:50



Drawing No.
0329-06-R17

Sheet	Rev
17 of 23	2

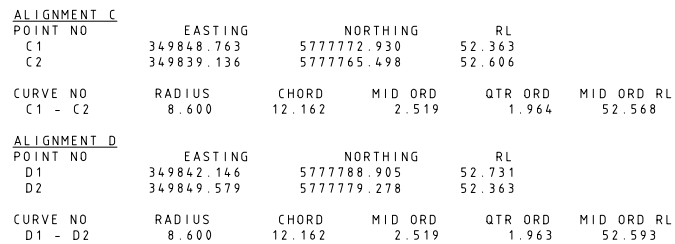
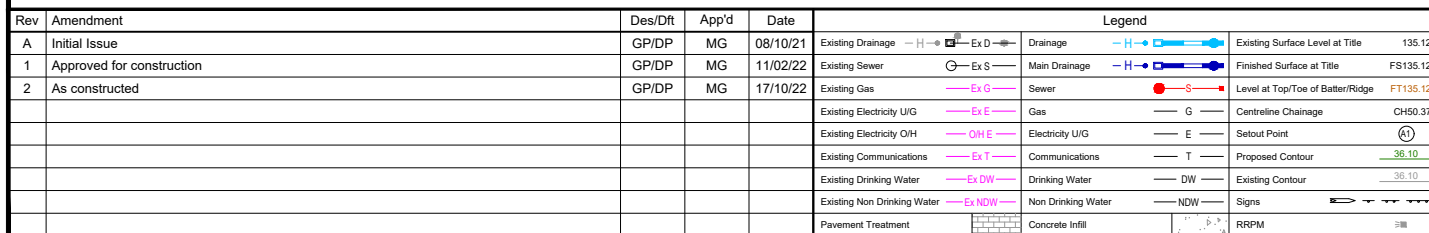
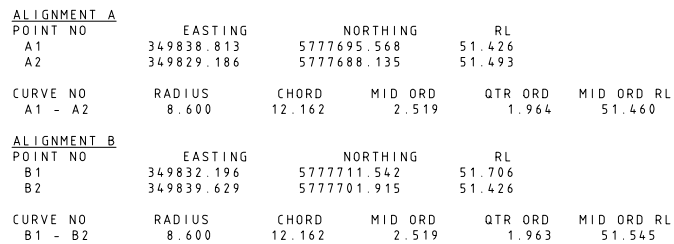


Diagram illustrating the SETOUT DETAIL of a circular segment. The diagram shows a circular arc with a horizontal chord. The distance from the chord to the arc at the ends is labeled 'Radius'. The distance from the chord to the arc at the midpoint is labeled 'Mid Ord'. The distance from the chord to the arc at the quarter points is labeled 'Ort Ord'.



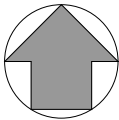
SIGN SCHEDULE	
SIGN	REF
	1
STREET SIGN	
	2
R1-2	
	3
W5-10 & W8-2	
	4
G9-20 & D4-5	

NOTE: RRPM'S
RRPM'S ARE TO BE EVENLY SPACED AT A MAXIMUM OF 6.0m.

WARNING
BEWARE OF UNDERGROUND SERVICES
The locations of underground services are approximate only and their exact position should be proven on site.
No guarantee is given that all existing services are shown.
Locate all underground services before commencement of works.
DIAL 1100 BEFORE YOU DIG
www.1100.com.au

Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Street Sign
1	Approved for construction	GP/DP	MG	11/02/22	Sign
2	As constructed	GP/DP	MG	17/10/22	RRPM

FOR CONTINUATION REFER TO 0329-06-R20



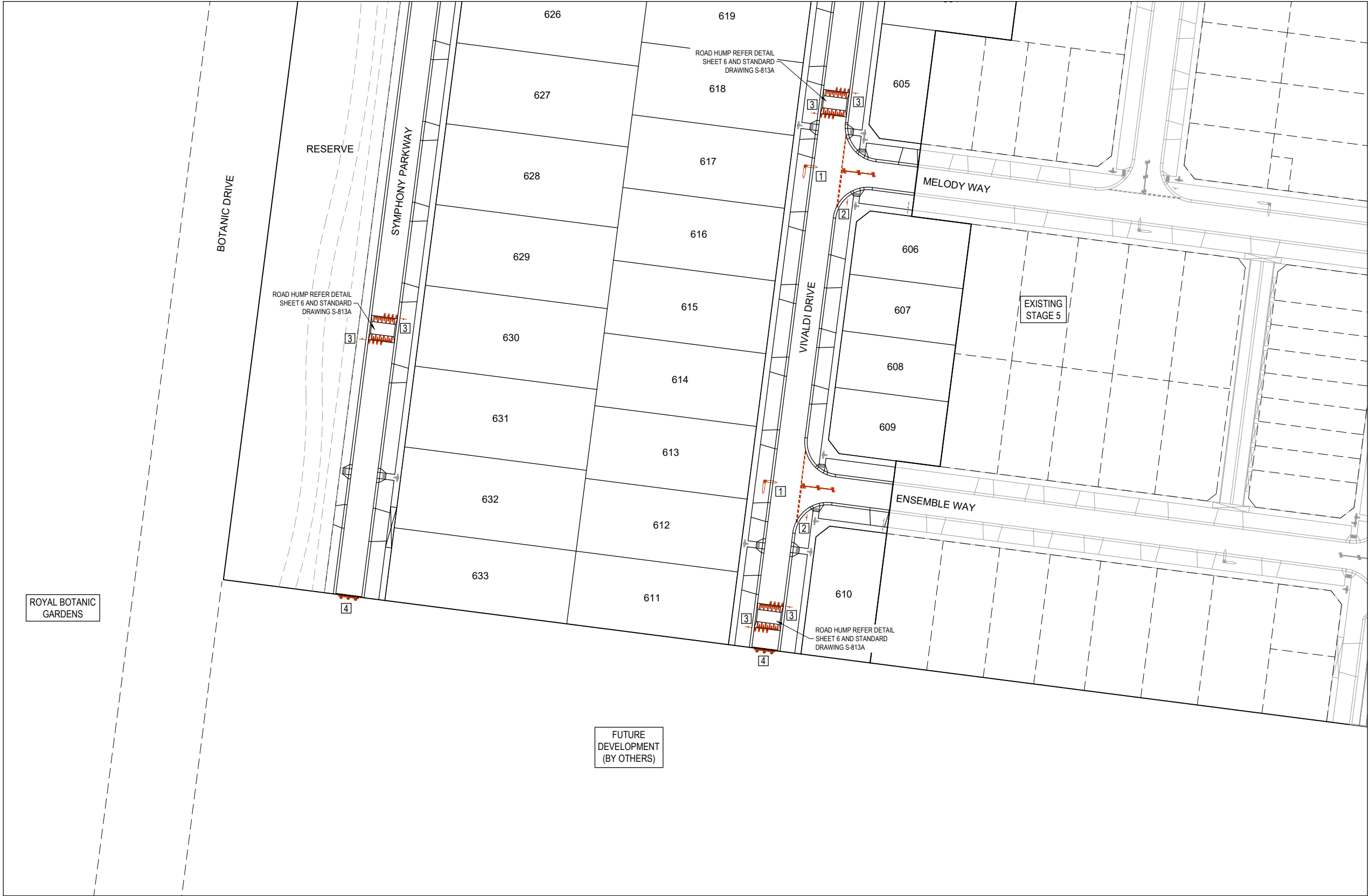
Principal
OCTAVE
AT JUNCTION VILLAGE
Jinding Australia
Level 53, 525 Collins Street
Melbourne Vic 3000




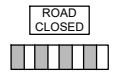
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Council City of Casey	
Project Octave at Junction Village Stage 6	
Title Signage & Linemarking Plan Sheet 1 of 2	
Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: October 2021

Scale @ A1: 1:500 	
Drawing No. 0329-06-R19	
Sheet 19 of 23	Rev 2




FOR CONTINUATION REFER TO 0329-06-R19

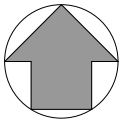


SIGN SCHEDULE	
SIGN	REF
	1
STREET SIGN	
	2
R1-2	
	3
W5-10 & W8-2	
	4
G9-20 & D4-5	

NOTE: RRPMS
RRPM'S ARE TO BE EVENLY SPACED AT A MAXIMUM OF 6.0m.

WARNING
BEWARE OF UNDERGROUND SERVICES
The locations of underground services are approximate only and their exact position should be proven on site.
No guarantee is given that all existing services are shown. Locate all underground services before commencement of works.
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Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Street Sign 
1	Approved for construction	GP/DP	MG	11/02/22	Sign 
2	As constructed	GP/DP	MG	17/10/22	RRPM 



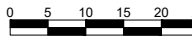
Principal
OCTAVE
AT JUNCTION VILLAGE

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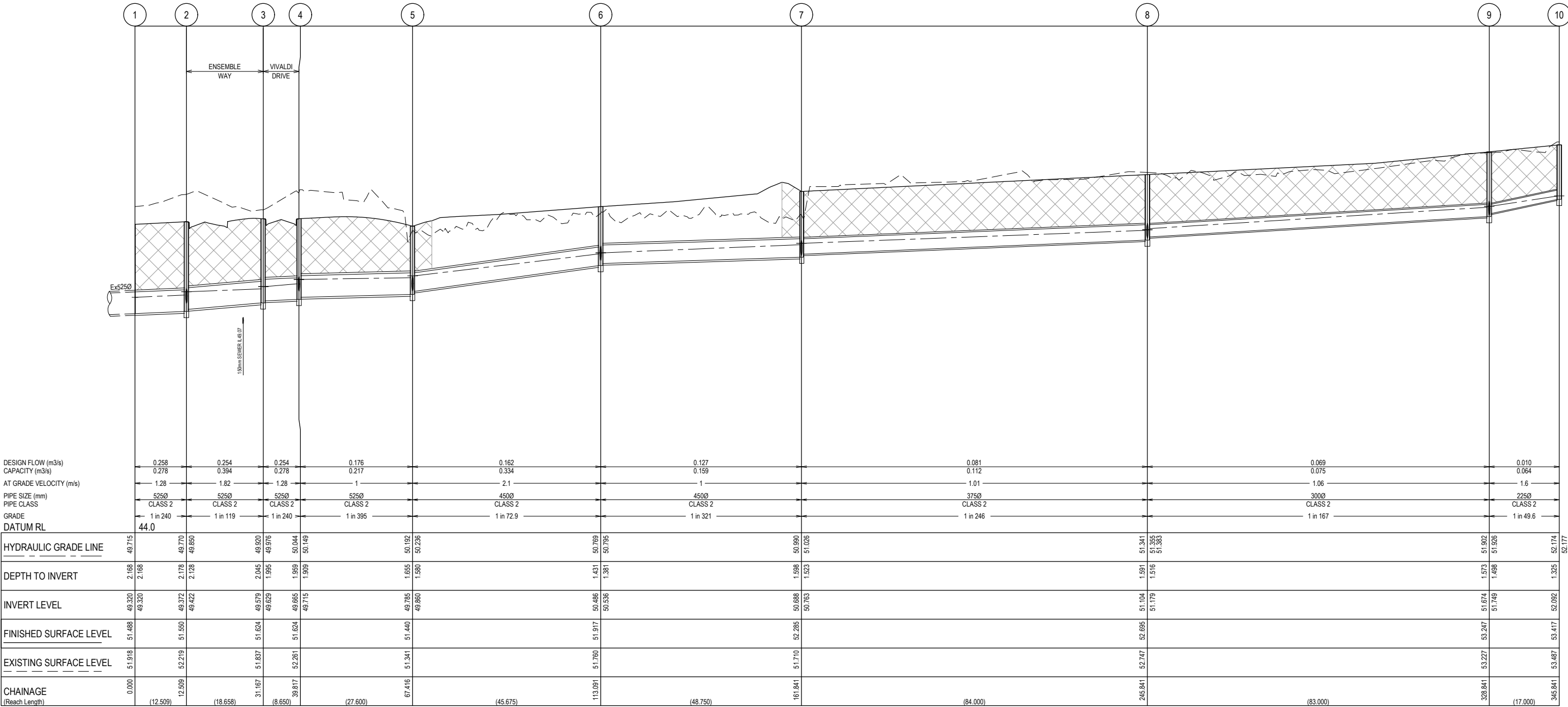
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Council City of Casey	
Project Octave at Junction Village Stage 6	
Title Signage & Linemarking Plan Sheet 2 of 2	
Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: October 2021

Scale @ A1: 1:500 	
Drawing No. 0329-06-R20	
Sheet 20 of 23	Rev 2

NOTE: DRAINAGE PIPES
1. ALL DRAINAGE PIPES TO BE CLASS 2 RCP UNLESS NOTED OTHERWISE.
2. PIPES LESS THAN OR EQUAL TO 750mm ARE TO HAVE RUBBER RING JOINTS. ALL OTHER PIPES TO HAVE FLUSH JOINTS WITH EXTERNAL SEALING BAND.



Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface — — — —
1	Approved for construction	GP/DP	MG	11/02/22	Design Surface — — — —
2	As constructed	GP/DP	MG	17/10/22	Future Design Surface — — — —
					Existing Drain — — — —
					Proposed Drain — — — —
					Hydraulic Grade Line — — — —
					Retaining Wall — — — —
					Crushed Rock Backfill — — — —
					Rock Beaching — — — —

Principal

OCTAVE


AT JUNCTION VILLAGE

Jinding Australia
Level 53, 525 Collins Street
Melbourne Vic 3000

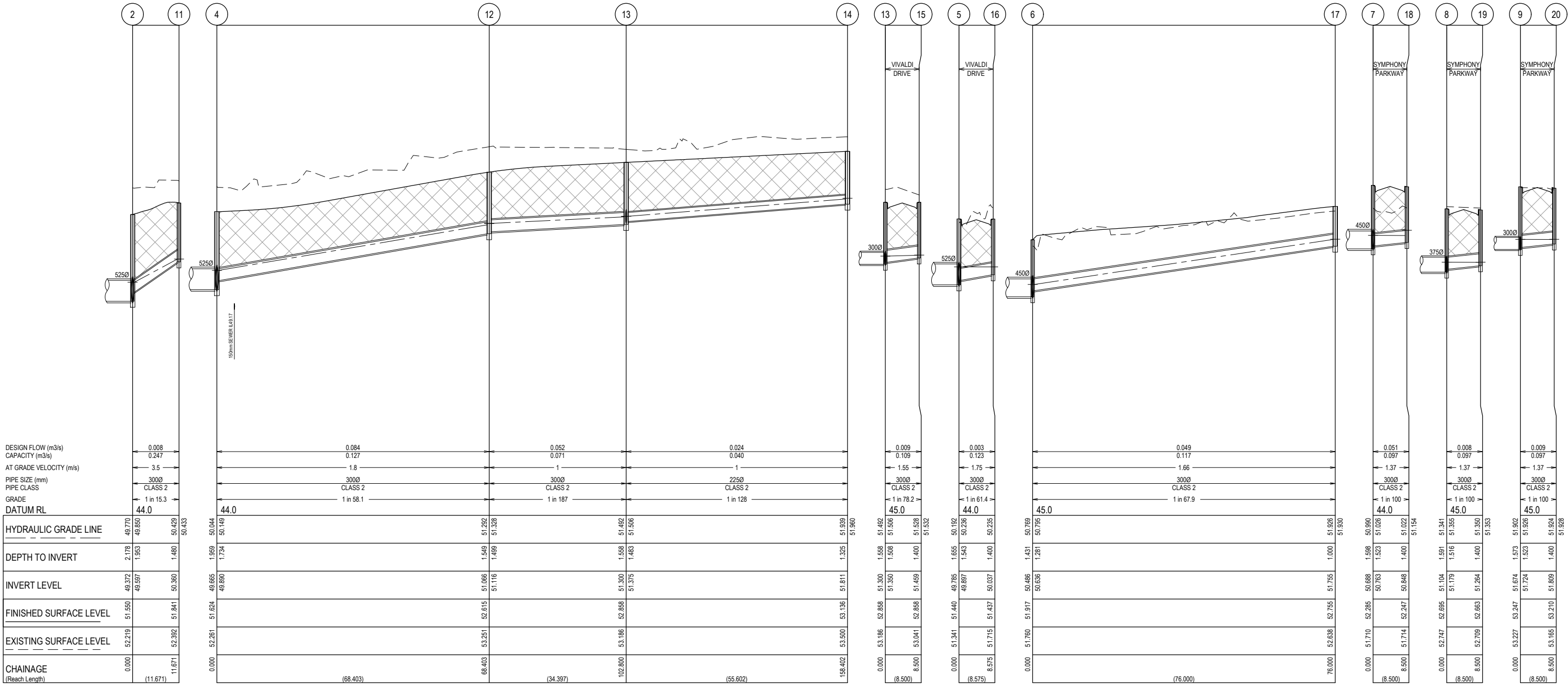
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GPR Consulting Pty Ltd
ABN 98 140 136 205
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Council	City of Casey
Project	Octave at Junction Village Stage 6
Title	Drainage Longitudinal Sections Sheet 1 of 2
Designed: G.Pratt	Authorised: M.Graham
Drafted: D.Pratt	Date: October 2021

Scale @ A1: H1:500 V1:50	
	
Drawing No.	
0329-06-R21	
Sheet	Rev
21 of 23	2

NOTE: DRAINAGE PIPES
1. ALL DRAINAGE PIPES TO BE CLASS 2 RCP UNLESS NOTED OTHERWISE.
2. PIPES LESS THAN OR EQUAL TO 750mm ARE TO HAVE RUBBER RING JOINTS. ALL OTHER PIPES TO HAVE FLUSH JOINTS WITH EXTERNAL SEALING BAND.



Rev	Amendment	Des/Dft	App'd	Date	Legend
A	Initial Issue	GP/DP	MG	08/10/21	Existing Surface
1	Approved for construction	GP/DP	MG	11/02/22	Design Surface
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					Existing Drain
					Proposed Drain
					Hydraulic Grade Line
					Retaining Wall
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Council City of Casey
Project **Octave at Junction Village Stage 6**
Title Drainage Longitudinal Sections Sheet 2 of 2
Designed: G.Pratt
Drafted: D.Pratt
Authorised: M.Graham
Date: October 2021

Scale @ A1: H1:500 V1:50
H 0 5 10 15 20 25
V 0 0.5 1 1.5 2 2.5
Drawing No. **0329-06-R22**
Sheet 22 of 23
Rev **2**

PIT SCHEDULE													
PIT No.	TYPE	LOCATION		INTERNAL		INLET		OUTLET		COVER LEVEL	PIT DEPTH	STD DWG	REMARKS
		EASTING	NORTHING	WIDTH	LENGTH	DIA.	INV R.L.	DIA.	INV R.L.				
1	EXISTING END PIPE	349852.774	5777701.359			525	49.320	525	49.320	51.488	2.168		CONNECT TO EXISTING END PIPE
2	JUNCTION PIT	349840.367	5777702.955	750	900	525	49.422	525	49.372	51.550	2.178	EDCM 607	HAUNCH PIT TO 600x900 COVER
						300	49.597						
3	SIDE ENTRY PIT GRATED	349830.225	5777687.396	750	900	525	49.629	525	49.579	51.624	2.045	EDCM 601 & 607	HAUNCH PIT TO 600x900 COVER
4	DOUBLE SIDE ENTRY PIT GRATED	349821.646	5777688.500	750	900	525	49.715	525	49.665	51.624	1.959	EDCM 602 & 607	HAUNCH PIT TO 600x900 COVER
						300	49.890						
5	SIDE ENTRY PIT GRATED	349818.125	5777661.126	750	900	450	49.860	525	49.785	51.440	1.655	EDCM 601 & 607	HAUNCH PIT TO 600x900 COVER
						300	49.897						
6	JUNCTION PIT	349772.823	5777666.953	600	900	450	50.536	450	50.486	51.917	1.431	EDCM 605	
						300	50.636						
7	DOUBLE SIDE ENTRY PIT GRATED	349724.472	5777673.173	600	900	375	50.763	450	50.688	52.285	1.598	EDCM 602 & 605	
						300	50.763						
8	SIDE ENTRY PIT GRATED	349735.187	5777756.487	600	900	300	51.179	375	51.104	52.695	1.591	EDCM 601 & 605	
						300	51.179						
9	SIDE ENTRY PIT GRATED	349745.775	5777838.809	600	900	225	51.749	300	51.674	53.247	1.573	EDCM 601 & 605	
						300	51.724						
10	JUNCTION PIT	349747.943	5777855.670	600	900			225	52.092	53.417	1.325	EDCM 605	
11	SIDE ENTRY PIT GRATED	349833.314	5777712.003	600	900			300	50.360	51.841	1.480	EDCM 601 & 605	
12	SIDE ENTRY PIT GRATED	349830.446	5777756.334	600	900	300	51.116	300	51.066	52.615	1.549	EDCM 601 & 605	
13	SIDE ENTRY PIT GRATED	349834.834	5777790.450	600	900	225	51.375	300	51.300	52.858	1.558	EDCM 601 & 605	
						300	51.350						
14	JUNCTION PIT	349841.926	5777845.598	600	900			225	51.811	53.136	1.325	EDCM 605	
15	SIDE ENTRY PIT GRATED	349843.264	5777789.366	600	900			300	51.459	52.858	1.400	EDCM 601 & 605	
16	SIDE ENTRY PIT GRATED	349826.630	5777660.032	600	900			300	50.037	51.437	1.400	EDCM 601 & 605	
17	JUNCTION PIT	349782.518	5777742.333	600	900			300	51.755	52.755	1.000	EDCM 605	
18	DOUBLE SIDE ENTRY PIT GRATED	349716.041	5777674.258	600	900			300	50.848	52.247	1.400	EDCM 602 & 605	
19	SIDE ENTRY PIT GRATED	349726.756	5777757.571	600	900			300	51.264	52.663	1.400	EDCM 601 & 605	
20	SIDE ENTRY PIT GRATED	349737.344	5777839.893	600	900			300	51.809	53.210	1.400	EDCM 601 & 605	

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Council		City of Casey		Scale @ A1:	
Project		Octave at Junction Village Stage 6			
Title		Pit Schedule		Drawing No. 0329-06-R23	
Designed: G.Pratt		Authorised: M.Graham		Sheet 23 of 23	Rev 2
Drafted: D.Pratt		Date: October 2021			