

DESIGN GUIDELINES

ΘCTAVE

AT JUNCTION VILLAGE

VERSION 7 | MARCH 2022

1. VISION	2	8. LANDSCAPING	11
		DESIGN	11
2. PROCESS	3	MATERIALS AND FINISHES	11
STEP 1 PURCHASE YOUR LAND	3	PLANT SELECTION	11
STEP 2 DESIGN YOUR HOME	3		
STEP 3 SUBMIT YOUR PLANS FOR APPROVAL	3	9. ENVIRONMENTAL SUSTAINABILITY	14
STEP 4 BUILDING PERMIT APPLICATION BY YOUR BUILDER	3	LIVEABILITY CONSIDERATIONS	14
STEP 5 CONSTRUCTION	3	SOLAR HEATING PANELS	14
STEP 6 CERTIFICATE OF OCCUPANCY	3	RAINWATER TANKS	14
STEP 7 LANDSCAPING	3	BUSHFIRE MANAGEMENT	14
		RECYCLED WATER	14
3. SMALL LOT HOUSING CODE (SLHC)	4	ENERGY RATINGS	14
4. OTHER APPROVALS	4		
5. DEVELOPER APPROVAL	4	10. CREATING GREAT NEIGHBOURS	14
6. HOME STYLE GUIDE	4	PARKING	14
7. LOT PLANNING	4	GARDENS	15
LOT LAYOUT	4	WASTE	15
BUILDING SET BACKS	5	LAUNDRY	15
BUILDING HEIGHT	5	NOISE	15
MASSING AND ARTICULATION	5	WINDOW FITTINGS	15
CORNER LOTS	6	FENCING	15
ROOFING AND EAVES	6		
FAÇADE, MATERIALS AND FINISHES	7	11. CONSTRUCTION OBLIGATIONS	15
DRIVEWAYS	7	LOT MAINTENANCE	15
GARAGES	8	CONSTRUCTION	15
RETAINING WALLS	9	COUNCIL ASSETS	15
FENCING	9		
LETTERBOXES AND ANCILLARY	10	DESIGN APPROVAL CHECKLIST	17
		APPENDICES	18
		APPENDIX A COLOUR BOARD	19
		APPENDIX B RESIDENTIAL DESIGN CONTROL ZONES	20
		APPENDIX C FRONT YARD LANDSCAPE CONCEPTS	21

THESE DESIGN GUIDELINES HAVE BEEN PREPARED TO ASSIST OCTAVE PURCHASERS, AND THEIR BUILDERS/DESIGNERS TO CONSTRUCT WELL DESIGNED, HIGH QUALITY HOMES TO CREATE A PREMIUM COMMUNITY THAT IS CONSISTENT IN ITS VISION AND WELCOMING TO ITS RESIDENTS.

1. VISION

A great design will help you add value to your home, increase sustainability, improve your quality of life and foster a high standard of presentation for Octave. These guidelines are not intended to limit design but help ensure that Octave presents with harmonious streetscapes and creating a community that all residents can be proud of.

The key design elements that purchasers and home builders should address include:

- Siting and orientation
- Architectural style and built form
- Fencing and landscaping
- Sustainability

2. PROCESS

All homes built at Octave must be approved by the Design Assessment Panel (DAP) prior to lodging for any building permit or commencing any works on site.

The following process will assist you in navigating the design approval process at Octave.

STEP 1 - PURCHASE YOUR LAND

Once you've purchased your preferred lot from Jinding, you can view all the relevant documentation you and your builder will need to build your new home via the Octave Buyer Portal.

STEP 2 - DESIGN YOUR HOME

Your builder will work with you to design your home to comply with the Octave Design Guidelines. Your architect, builder and/or designer will also need to take into considerations details on the Building Envelope Plans or Plan of Subdivision. You should also ensure that you have complied with any applicable building codes, council by-laws and other local authority requirements.

STEP 3 - SUBMIT YOUR PLANS FOR APPROVAL

When you are ready to make your submission to the DAP, you can lodge your house plans, colour schedules and landscape plans via The Octave Design Portal <https://portal.octavejunctionvillage.com.au>. Ensure your submission is in pdf form and contains all the required information detailed in the checklist on page 17. Generally, your design will be reviewed within 10 working days of your initial submission provided that all documents are submitted correctly.

In some cases, plans may need to be resubmitted. Feedback will be provided to help facilitate approval if this occurs. Should a resubmission be required, please ensure that any alterations are highlighted for ease of processing.

Once your design is assessed and approved, you and your builder will be issued with stamped, approved set of plans.

STEP 4 - BUILDING PERMIT APPLICATION BY YOUR BUILDER

Once you've received your design approval, a building permit must be obtained from either the City of Casey or a licensed building surveyor. Your registered building surveyor will require your home design to comply with any legal or statutory requirements on the Plan of Subdivision and will require evidence of your Developer Approval to process. If any further design modifications are made, you will be required to resubmit plans to the DAP for reassessment.

STEP 5 - CONSTRUCTION

Once received, a Building Permit allows you to commence construction. In accordance with the Contract of Sale, construction of your home must commence within 6 months of the settlement of your lot. Completion of your home including garage, driveway, fencing and retaining walls should occur within 12 months of construction commencement.

STEP 6 - CERTIFICATE OF OCCUPANCY

Certificate of Occupancy certifies that a home can be lived in. Your builder will typically look after this on your behalf. After receiving the Certificate of Occupancy, all front gardens must be landscaped in accordance with these guidelines within 6 months. Fencing must also be constructed within 30 days of the issue of the Certificate of Occupancy.

A note for your builders, is that all kerb and sidewalk rectification works must be completed within 90 days. Your driveway and crossover must be completed before you move into your new home. We want to ensure that the streetscapes at Octave are well maintained for all residents to enjoy.

STEP 7- LANDSCAPING

All front gardens must be landscaped in accordance with these Guidelines (including all turf, soft landscape, driveways and pathways) within 6 months of issue of the Certificate of Occupancy.



Image courtesy of Boutique Homes

3. SMALL LOT HOUSING CODE (SLHC)

Octave is home to a diverse range of lot sizes, some of which are subject to the requirements of the Small Lot Housing Code (SLHC). SLHC applies to lots that provide a single dwelling and have an area less than 300m². The Octave design guidelines are to be applied in conjunction with the SLHC. The DAP will not assess proposals against requirements of the SLHC.

4. OTHER APPROVALS

The requirements detailed in this document are in addition to, and not in lieu of, any other legal or statutory requirements. It is the responsibility of the owner to ensure any other approvals, authorisation permits or other requirements are obtained and satisfied.

5. DEVELOPER APPROVAL

Homes must be approved by the Design Assessment Panel (DAP) prior to lodging for any building permit or commencing any construction works. The DAP is appointed by Jinding to oversee and implement the objectives of the Design Guidelines.

The Design Guidelines may be changed from time to time at the DAP's discretion. Applications will be assessed against the current version of the Design Guidelines.

Interpretation and application of these Design Guidelines is at the sole discretion of the DAP. The DAP's decisions are final. No claims shall be made to the Developer, DAP or their representatives with respect to the decisions made.

The DAP reserves the right to vary or waive the requirements of the Design Guidelines if it believes that a proposal (or element of a proposal) that is not strictly in accordance with the wording of the Design Guidelines nonetheless makes a positive contribution to the overall objectives of the built form and/or streetscapes at Octave.

Note: A proposal that does not comply with the Design Guidelines may require Council planning permission, in the event that the proposed variation is also contrary to the Botanic Ridge Precinct Structure Plan Residential Design Controls.

Allowance has been made for two submissions for each Design Approval application. Each additional submission may incur an administration fee, at the sole discretion of the DAP. New submissions for a lot that has already had an application approved may also incur an administration fee.

6. HOME STYLE GUIDE

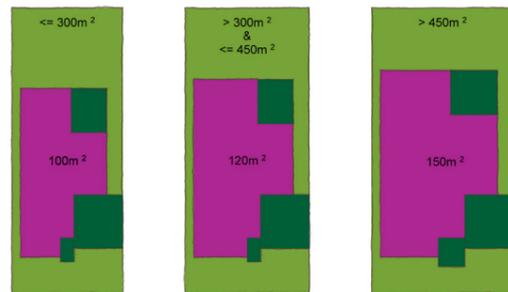
Homes at Octave are best described as contemporary in style. This will be achieved through simple forms including low-pitched roofs and well-proportioned façade elements, combined with controlled use of materials and colours selected to reflect the home location surrounded by nature.

Period styles such as Edwardian and Georgian style, and period detailing such as quoins, fretwork, lace work etc. are not generally permitted. Ornamentation of facades is to be limited to ancillary building elements such as porches, balconies, pergolas and architectural screens to encourage articulation of the façade and interest to the streetscape. Stylistic exceptions will be assessed at the discretion of the DAP.

7. LOT PLANNING

7.1 LOT LAYOUT

- A. Only one dwelling is permitted per lot, unless otherwise provided on the relevant Plan of Subdivision.
- B. To site each home, Building Envelope Plans have been prepared for all lots at Octave where the small lot housing code is not applied. The dwelling and garage should be contained within the building envelope.
- C. Dwellings must comply with the following minimum dwelling size, excluding garage and all unenclosed areas, unless otherwise approved by the DAP:

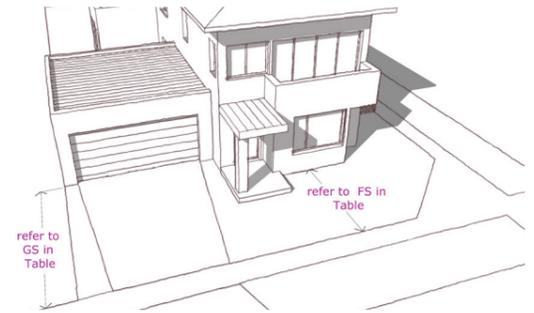


LOT SIZE	DWELLING SIZE (MIN.)
Less than (or equal to) 300m ²	100m ²
More than (or equal to) 300m ² & less than 450m ²	120m ²
More than 450m ²	150m ²

- D. Dwellings must have at least one habitable room window (living or bedroom) that addresses the primary street frontage. A habitable room is a living room or a bedroom. On corner lots, the dwelling must have at least one habitable room window that addresses the secondary street frontage.
- E. The habitable room window must have appropriate head and sill heights to provide passive surveillance to the Public Realm.
- F. On corner lots, the primary street frontage is the shorter frontage adjacent to the street, unless otherwise noted on the Plan of Subdivision or Building

7.2 BUILDING SET BACKS

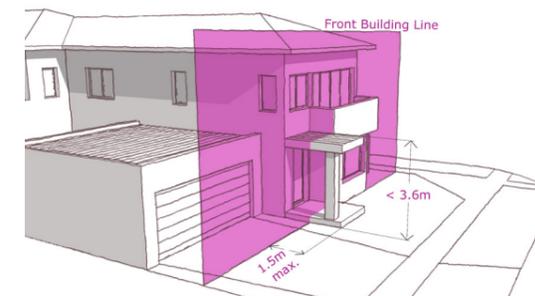
- A. It is the responsibility of the Landowner to ensure the following setback requirements are satisfied. At Octave, lots are subject to various Residential Design Control Zones. Please refer to Appendix B for details.



	INTERFACE A ZONE	INTERFACE B ZONE	NEIGHBOURHOOD ZONE			VILLAGE ZONE	
Front Setback (FS)	13m minimum	6m minimum	Area <= 550m ² 4m minimum	Area > 550m ² & <= 720m ² 5m minimum	Area > 720m ² 6m minimum	Area < 300m ² See SLHC	Area >= 300m ² 3m minimum 4m maximum
Rear Setback	10m minimum	8m minimum	2m minimum			See SLHC	2m minimum
Side Setback - Inline Lots	1m minimum from at least 1 boundary	1m minimum from at least 1 boundary	1m minimum from at least 1 boundary			See SLHC	1m minimum from at least 1 boundary
Side Setback - Corner Lots	2m minimum	2m minimum	2m minimum			See SLHC	2m minimum
Garage Front Boundary Setback (GS)			5.5m minimum			See SLHC	5.5m minimum

Front Encroachments

- B. The following may encroach into the front setback:



- Balconies, verandas, open porches, covered walkways and porticos that have a maximum height less than 3.6m above the ground level, by no more than 1.5m
- Eaves, fascia and gutters by no more than 600mm

Side and Rear Encroachments

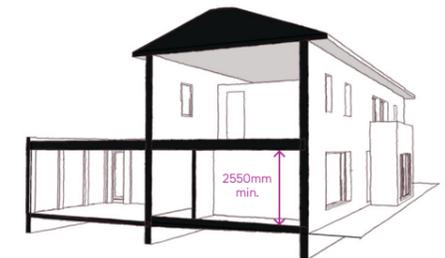
- C. The following may encroach into the side and rear setback distances that do not abut the Public Realm by not more than 500mm:
 - Porches and verandas
 - Screens, but only to the extent needed to protect a neighbouring property from a direct view
 - Domestic fuel tanks and water tanks
 - Heating and cooling equipment and other services
- D. Eaves, fascia and gutters may also encroach 600mm into the side and rear setback distances.

Landscaping Considerations

- E. In addition to the minimum prescribed setbacks described above, consideration should be given to the mature size of any proposed planting, particularly in the front setback, to allow plenty of space for roots and branches to spread.

7.3 BUILDING HEIGHT

- A. All buildings are limited to a maximum height of 8.5m above natural ground level.
- B. In addition to this, lots in Interface A are limited to a maximum of 1 storey. Please refer to the Building Envelope Plan for details.
- C. Double storey lots in Interface B must have the upper-level set back behind the front wall of the dwelling.



7.4 MASSING AND ARTICULATION

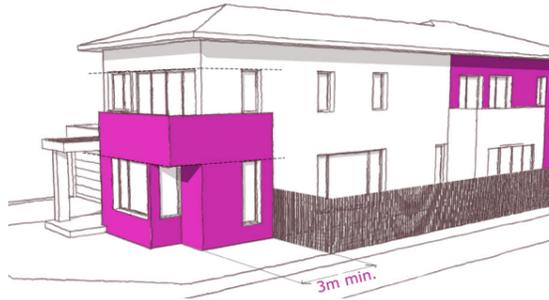
- A. Each dwelling must incorporate a prominent front entry point that is readily visible from the primary frontage and complementary to the overall dwelling design.
- B. The front façade must not be continuously straight for more than 6.5m.
- C. Rooms fronting the Public Realm must have a minimum ground floor ceiling height of 2550mm.
- D. Double storey dwellings must include elements such as balconies and/or protrusions to articulate the front facade.

7.5 CORNER LOTS

A. Homes on corner lots must address the secondary frontage by incorporating the same or similar design features to those used on the primary frontage. This may include:

- Windows with matching head heights
- Highlight materials and finishes that wrap around from the primary facade
- Pergolas, porticos, porches, verandas and balconies
- Roof elements, such as feature gables
- Other treatments, to the satisfaction of the DAP

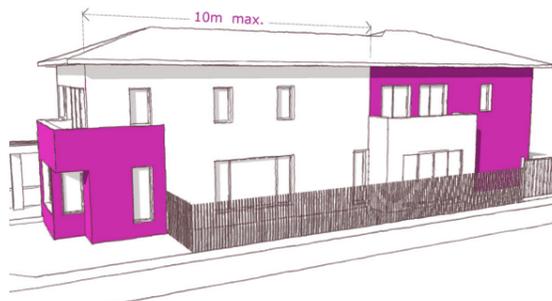
B. Materials used on the front façade must extend to the secondary frontage for a minimum of 3m.



C. Corner features must be forward of the Return Fence and/or readily visible from the Public Realm. Blank walls forward of the Return Fence will not be approved.

D. Any secondary façade that exceeds 10.0m in length must incorporate articulation in one of the following ways:

- A step in the wall that is at least 0.3m deep for a length of at least 1 metre, such that any part of the wall is not continuously straight for more than 10m;
- Contrasting material for at least 2.0m to limit any continuous material length to 10.0m; or
- Contrasting wall colours for at least 2.0m to limit any continuous colour length to 10.0m

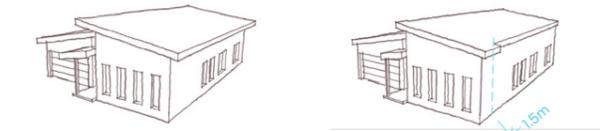
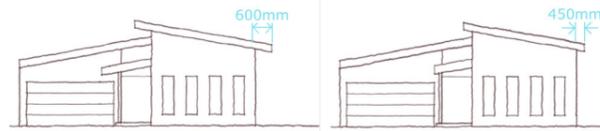


E. At least 50% of all rooms that are adjacent to a secondary boundary must have windows facing that boundary.

7.6 ROOFING AND EAVES

A. Low pitch roof forms and styles are strongly encouraged.

B. Skillion roofs must have:

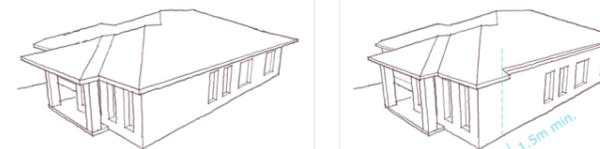
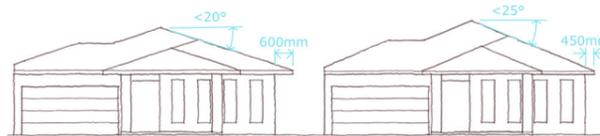


Preferred

Minimum required

- A roof pitch between 10° and 30°

C. Hip or gable roofs must have:



Preferred

Minimum required

- A roof pitch of no more than 25°. Low roof pitches (20° or less) are preferred.

D. Eaves provide shade in the summer months and allow the winter sun to penetrate the home during winter. Greater energy efficiency can generally be achieved by constructing eaves, making the house more sustainable and providing the opportunity for energy savings.

Skillion, hip or gable end roofs must have:

- A minimum eaves width of 450mm to any façade that faces the public Realm. Eaves of at least 600mm are strongly encouraged
- The front eaves must return along the side wall for at least 1.5m on single storey dwellings
- A minimum eaves width of 450mm to the entire upper level of double storey dwellings. Eaves of at least 600mm are strongly encouraged and preferred

E. Walls constructed on side boundaries (zero lot line) will be exempt from the eaves requirements, but not from the parapet requirements.

Please note that the height of the wall on a boundary will not exempt the wall from the parapet

7.7 FAÇADE, MATERIALS AND FINISHES

A. Colour schemes should adopt a palette of muted neutral tones at the lighter end of the colour spectrum.

B. The front facade must be finished with a mixture of at least 3 external materials/ finishes and/or colour finishes.

C. Face brick masonry blocks must make up no more than 70% of the front facade (not including the garage door or other openings such as windows and doors).

D. Other front facade materials may include:

- Render
- Timber cladding
- Weatherboard (painted)
- Lightweight cladding
- Stone
- Other materials approved by the DAP

E. Materials used on the front facade must extend to the side elevation for a minimum of 1.5m except for on corner lots where additional requirements apply.

F. Roof cladding must compliment the style of your home.

- Metal Roof sheeting must be of a corrugated profile if visible from the Public Realm
- Tiles must be of a flat/shingle type profile

G. All roof materials and finishes must be matte finish, non-reflective and in one of the following colour tones:

- Muted grey
- Blue/ grey
- Charcoal
- Green

H. Galvanized, zincalume or unfinished roof materials and rainwater fixtures are not permitted.

I. No dwelling is to be built with exposed stumps.

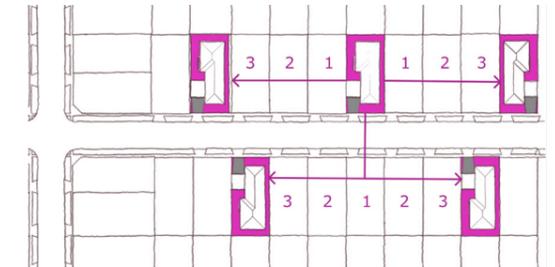
J. Aluminium sliding windows and doors are unlikely to be approved if visible from the Public Realm, unless they are manufactured from commercial or semi commercial sections.

K. The front facade (and secondary frontages) must not include lightweight infill panels above doors, windows or garage doors. The finish/colour above the opening must match the finish/colour on either side of the opening.

L. Roll down security shutters must not be visible from the Public Realm.

M. Glazing that is visible from the Public Realm must not contain leadlight, stained glass, reflective glass or patterned film.

N. Homes should avoid replicating identical or similar facades to another dwelling within 3 lots in either direction on the same side of the street or opposite side of the street. Should similar façade design be submitted for lots in proximity, consent will be managed at the discretion of the DAP.



7.8 DRIVEWAYS

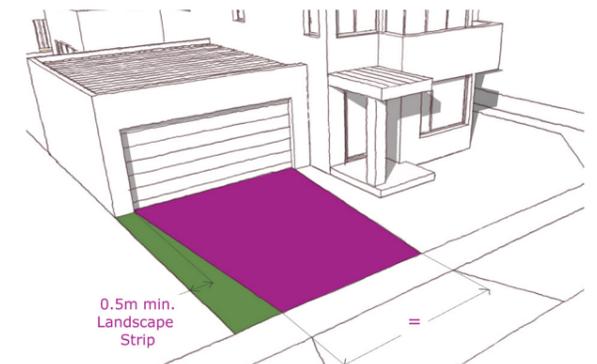
A. Each lot must have a maximum of one crossover per frontage.

B. Driveways must be constructed from a hard surface material such as exposed aggregate concrete, colour-through concrete, slate, natural stone, asphalt or brick.

C. Driveway colours should be muted.

D. Plain (uncoloured) and painted concrete driveways are not permitted.

E. The driveway must be set back a minimum of 0.5m from the side boundary to provide a strip for landscaping.

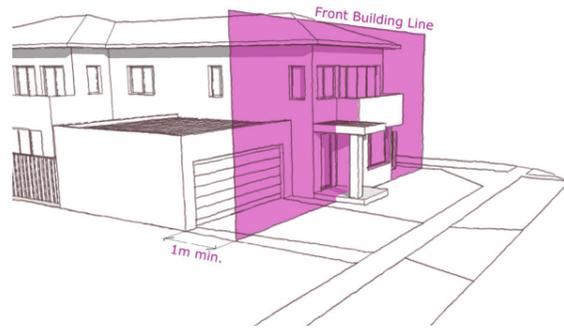


F. The driveway must not exceed the width of the garage door where they meet the garage, and must taper to the width of the crossover at the boundary.

G. The driveway must be constructed prior to the occupancy of the dwelling.

7.9 GARAGES

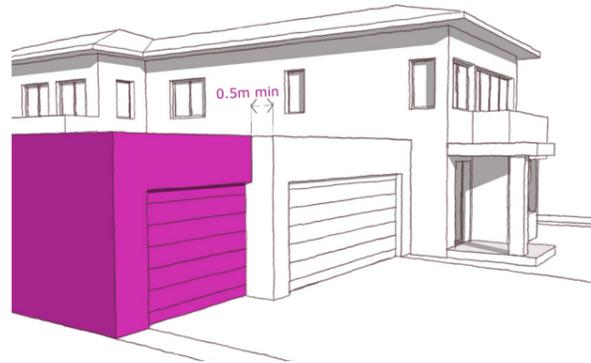
- A. All lots must incorporate a fully enclosed garage. Carports and open sided garages are not allowed.
- B. Garages accessed from the primary frontage of a lot must be integrated into the overall form of the dwelling and must be stepped back a minimum of 1m from the front wall of the dwelling. This distance is measured from the front building line, not from verandas or porches, etc.



- C. Garages that are not accessed from the primary frontage may be detached, at the discretion of the DAP. Detached garages must have:
 - Materials, colours and finishes that match or complement the dwelling; and
 - A roof form consistent with the dwelling
- D. Any detached garage that is located on a lot in Interface A or Interface B must also not have:
 - A height exceeding 3.6m above natural ground level; or
 - An area exceeding 50m²
- E. Rear loaded lots (lots where the garage is accessed from the rear of the lot, usually from a lane or secondary street) must incorporate a garage at the rear of the lot. Crossovers are not permitted on the front boundary of these lots and garages are not permitted to be located at the front of these lots.
- F. Front loaded lots (lots where the garage is accessed from the primary frontage) with a lot width of 12.5m or more must provide a double garage.
- G. The total width of the garage door openings on front loaded lots must not exceed 40% of the effective lot width.
- H. The maximum width of any single garage opening is 7.0m.
- I. Any garage door visible from the Public Realm must be either a sectional overhead or tilt panel type only.

Triple Garages

- A. In addition to the other requirements in this section, triple garages will only be allowed where:
 - The dwelling is a lot with an effective lot width of at least 18.0m
 - Garages comprise either one double and one single garage element or three single garage elements with a column/pillar dividing at least two of the elements; and
 - The wall that contains the third door must be stepped back at least 0.5m from the other front wall of the garage



7.10 RETAINING WALLS

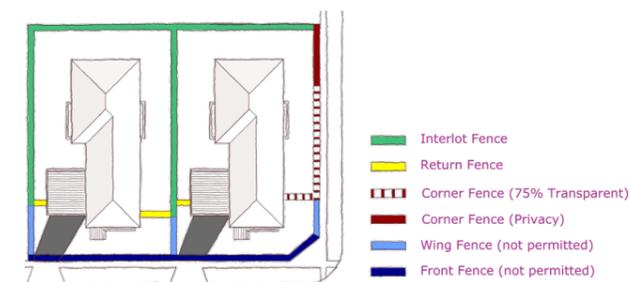
- A. The maximum height of any retaining wall is 1.0m. If a higher wall is required, more than one wall must be used in conjunction with graded slopes, battering and other landscape treatments to soften the appearance of the change in levels. Council approval may be required for retaining walls. Owners should make their own enquiry.
- B. Thought should also be given to providing a landscaping strip of approximately 200mm in front of the retaining wall to soften the height.
- C. Retaining walls visible from the Public Realm must be constructed from a material and finish to complement the house, to the satisfaction of the DAP.

Acceptable finishes may include:

 - Stone
 - Face or rendered masonry; or
 - Concrete sleepers with an appropriate applied finish and galvanised support columns
- D. Timber sleepers are not permitted.
- E. The extent, height and finish of all proposed retaining walls must be included in any application for Developer Approval.
- F. Refer to Council for additional retaining wall requirements.

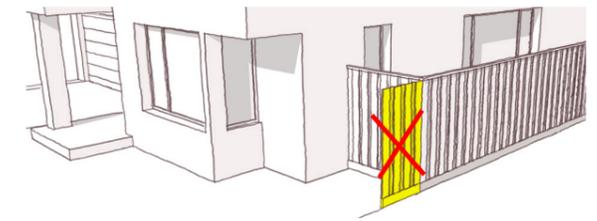
7.11 FENCING

- A. Construction of fencing is completed by the purchaser unless otherwise specified.



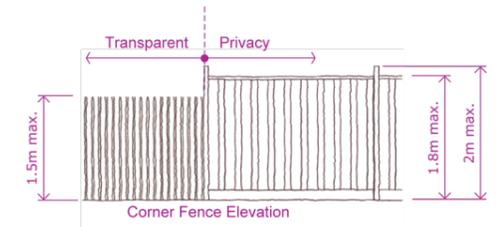
Front Lot Fencing

- B. Front lot fencing and wing fencing are not permitted. The DAP, at its sole discretion, may consider front lot fencing for integrated housing sites and lots where the primary frontage directly abuts the Public Realm.

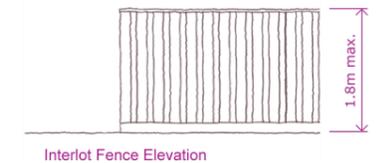


Interlot Fencing

- C. Interlot fencing must be in timber paling with:
 - Exposed timber posts on both sides, 1.5m bottom plinth, lapped timber palings and timber capping



- A maximum height of 1.8m above natural ground level



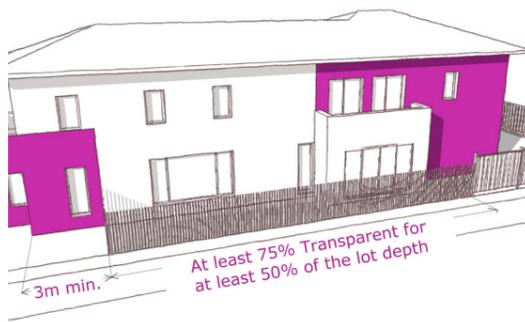
- Terminated at a minimum of 1.0m behind the closest front wall of the dwelling, unless it is on the rear boundary of an adjoining lot



- Terminated by returning to meet the closest wall of the dwelling (Return Fence)

Corner Fencing

- D. Corner fencing or fencing to the Public Realm boundary other than the frontage corner must comprise of 2 sections: The Transparent section and the Privacy section.
- E. The Transparent section of the corner fence must:
- Start a minimum of 3.0m behind the closest front wall of the dwelling
 - Be at least 75% transparent for at least 50% of the length of the relevant boundary
 - Have a maximum height of no greater than 1.5m above natural ground level
 - Return at the start to meet the closest wall of the dwelling at 90 degrees to the dwelling wall (Return Fence)
 - Terminate where the Privacy section starts



- F. The Privacy section of the corner fence must:
- Run along the relevant boundary from the Transparent fence to the rear boundary
 - Incorporate exposed timber posts, timber rails that are concealed from the Public Realm, a 150mm bottom plinth, and lapped timber palings with timber capping
 - Incorporate a maximum capping height of no greater than 1.8m above natural ground level
 - Incorporate a maximum post height of no greater than 2m above natural ground level

Return Fencing

- G. Return fences must be constructed with materials, finishes and heights to match or complement the adjacent fence.

Gates

- H. Any gates in a fence must match or complement the fence in terms of materials and finishes.

7.12 LETTERBOXES AND ANCILLARY

- A. Letterboxes must complement the dwelling in terms of materials, colour and style.
- B. Single post supported letterboxes are not permitted.
- C. Dwelling services such as clothes lines, satellite dishes, antennae or external receivers must be located to the rear of the building and not readily visible from the Public Realm.
- D. Heating and cooling units must be located towards the rear of the dwelling and not readily visible from the Public Realm. If located on the roof the units must be positioned below the ridge line, towards the rear of the roof and coloured matched to the roof as far as practical.
- E. Photovoltaic cells, solar panels and the like may be located to maximise their efficiency as long as they integrate with the roof form.
- F. Any outbuildings less than 10sqm should not be readily visible from the Public Realm.
- G. Outbuildings greater than 10sqm must have:
- A roof form consistent with the dwelling
 - Materials, colours and finishes that match or complement the dwelling
 - A maximum height of 3.6m at the ridgeline, measured from natural ground level
 - A maximum height of any perimeter wall, excluding the gable infill, of 2.4m, measured from natural ground level
- H. The maximum total floor area of outbuildings on a lot must not exceed 50sqm, unless planning approval is granted by the City of Casey. For the purpose of this requirement, an outbuilding is classified as any building on the lot which is detached from the dwelling i.e. the calculation does not include the floor area of a garage attached to the dwelling.
- I. Ancillary items such as rubbish bins, recycling bins, washing lines, hot water systems, any water storage tanks, swimming pools, spa pumps and external plumbing are to be stored or located away from public view.
- J. Storage of trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles are to be located out of public view when parked or stored on the lot.
- K. Signs to advertise the sales of a vacant lot are not permitted unless approved by the Developer. For completed dwellings one sign may be erected to advertise the sale.
- L. Signs for dwelling names and home businesses are not permitted.

8. LANDSCAPING

Landscape works are part of the design approval process. A Landscape Plan must be included with the submission for design approval and approved prior to the commencement of construction.

8.1 DESIGN

- A. Front gardens must complement the design of your home and be contemporary in style
- B. Consider the orientation of your garden and the amount of shade your garden receives when planning the design and location of paved areas or paths as well as garden beds
- C. All front gardens must be well planted so as to enable full coverage of garden beds when established.
- D. Landscape elements must be used to soften and screen any ancillary structures or service equipment that are visible from the Public Realm and cannot be located elsewhere within the lot.
- E. A minimum of one tree must be provided to the front garden (minimum install size 45L stock and 1.8m tall). Trees must be located to avoid interference with services, infrastructure and neighbouring properties.
- F. Garden bed preparation is recommended to include a minimum of 200mm of topsoil and 75mm mulch.
- G. All front gardens must be kept presentable and well maintained. This includes but is not limited to being free of weeds, litter and debris. All lawn areas must be regularly mown and kept free of weeds.

8.2 MATERIALS AND FINISHES

Consideration must be given to the types of materials selected for use within your front garden and how these visually enhance your home.

- A. Colour schemes for hard surfaces should be muted neutral tones in order to complement the built form of the home and driveway materials.
- B. Any paths or paved areas must be constructed from:
- Exposed aggregate concrete
 - Coloured-through concrete
 - Slate
 - Natural stone
 - Brick
 - Granitic gravel with a defined edge (such as timber or steel edging)
- C. Plain (uncoloured) and painted concrete paths or paving areas are not permitted.
- D. Paved areas must be set back a minimum of 0.5m from the side boundary and a minimum of 2.0m from the front boundary to provide a strip for planting and soft landscaping.
- E. Garden areas must be mulched with bark, not pebbles or gravel.
- F. Lawn areas must not be artificial turf.

8.3 PLANT SELECTION

The provided plant lists must be considered when planning your garden design. Casey City Council also provide plant lists for species suitable to the local environment of Junction Village and the Botanic Ridge area that could be useful in planning your garden. A visit to the Royal Botanic Gardens Cranbourne or a local nursery for advice on plant selection for your garden may be useful when preparing your Landscape Plan.

- A. Avoid planting common weed species in your garden.
- B. Plants for inclusion in your garden must be selected from the provided plant lists. You may select a combination of native, indigenous and exotic plants from Plant List 1 and Plant List 2.
- C. Any lots located within the Bushfire Management Overlay or within 150m of the Royal Botanic Gardens Cranbourne boundary must ensure that a minimum of 60% of plants are native and indigenous plants selected from Plant List 1.
- D. The selection of native or indigenous plants from Plant List 1 is strongly encouraged to complement the surrounding landscape environment of Junction Village and the adjacent Royal Botanic Gardens Cranbourne.
- E. Plants not included on the provided lists will be considered but are subject to approval by the DAP.

Plant List 1: Native and Indigenous Plants

GROUNDCOVERS	
Botanical Name	Common Name
Ajuga reptans	Bugle
Brachyscome multifida	Cut Leaf Daisy
Chrysocephalum semipapposum	Clustered Everlasting
Dichondra repens	Kidney Weed
Eremophila 'Silver Ball'	Emu Bush
Grevillea 'Bronze Rambler'	Dwarf Grevillea
Grevillea 'Poorinda Royal Mantle'	Dwarf Grevillea
Myoporum parvifolium	Creeping Boobialla

GRASSES / STRAPIES	
Botanical Name	Common Name
Dianella 'Emerald Arch'	Native Flax
Dianella tasmanica	Tasman Flax-Lily
Doryanthes excelsa	Gynea Lily
Lomandra Tanika	Tanika
Poa labillardieri	Common Tussock Grass

SMALL SHRUBS	
Botanical Name	Common Name
Acacia cognata 'Mini Cog' or 'Limelight'	River Wattle
Agonis flexuosa 'Copper Wave'	Willow Peppermint
Banksia 'Birthday Candles'	Banksia cultivar
Callistemon 'Little John'	Bottlebrush cultivar
Correa glabra	Rock Correa
Correa alba	White correa
Correa reflexa	Common Correa
Crocea exalta 'Southern Stars'	Wax Flower
Grevillea 'Robyn Gordon'	Grevillea cultivar
Hymenosporum flavum 'Gold Nugget'	Native Frangipani (Dwarf variety)
Leptospermum 'Foreshore'	Dwarf Tea Tree

LARGE SHRUBS	
Botanical Name	Common Name
Adenanthos sericea	Wooly Bush
Banksia ericifolia x spinulosa	Banksia 'Giant Candles'
Callistemon 'Kings Park Special'	Bottlebrush cultivar
Callistemon salignus 'Perth Pink'	Bottlebrush cultivar
Hardenbergia violacea	Coral Pea
Melaleuca nesophila	Honey Myrtle
Syzygium australe	Brush Cherry
Westringia fruticosa	Coastal Rosemary

TREES	
Botanical Name	Common Name
Angophora hispida	Dwarf Apple Myrtle
Corymbia cirtiodora 'Scentuous'	Dwarf Lemon Scented Gum
Corymbia ficifolia 'Wildfire'	Red Flowering Gum cultivar
Elaeocarpus reticulatus	Blueberry Ash
Eucalyptus caesia	Silver Princess
Eucalyptus leucoxydon 'Rosea'	Pink Flowering Gum
Eucalyptus mannifera 'Little Spotty'	Dwarf Spotted Gum
Eucalyptus paucifolia 'Little Snowman'	Dwarf Snow Gum
Tristanopsis laurina	Kanooka
Waterhousea floribunda	Weeping Lilly Pilly

Plant List 2: Exotic Plants

GROUNDCOVERS	
Botanical Name	Common Name
Hosta	Plantain Lily
Origanum vulgare	Oregano
Scaevola albida 'Mauve Clusters'	Fan Flower
Sedum 'Stonecrop'	Sedum
Senecio serpens	Blue chalk sticks
Stachys byzantina	Lambs Ears
Thymus vulgaris	Thyme
Trachelospermum jasminoides	Chinese Star Jasmine

GRASSES / STRAPIES	
Botanical Name	Common Name
Arthropodium cirratum	Rock Lily
Clivia minata	Bush Lily
Cordyline	Cabbage Palm cultivars
Dietes grandiflora	Wild Iris
Festuca glauca	Blue Fescue
Liriope muscari	Lily Turf
Ophiopogon japonicus	Mondo Grass
Phormium tenax	New Zealand Flax

SMALL SHRUBS	
Botanical Name	Common Name
Hebe buxifolia	Box Leaf Hebe
Lavandula angustifolia 'Hidcote Blue'	English Lavender
Plectranthus argentatus	Mona Lavender
Raphiolepis indica	Indian Hawthorn
Rosmarinus officinalis	Rosemary

LARGE SHRUBS	
Botanical Name	Common Name
Fatsia japonica	Japanese Aralia
Laurus nobilis	Bay Tree
Viburnum tinus	Viburnum

TREES	
Botanical Name	Common Name
Acer palmatum 'Sango Kaku'	Japanese Maple
Cercis canadensis 'Forest Pansy'	Chinese Redbud cultivar
Cercis chinensis	Chinese Redbud
Lagerstroemia indica x fauriei 'Natchez'	C repe Myrtle cultivar
Lagerstroemia indica x fauriei 'Sioux'	Crepe Myrtle cultivar
Magnolia grandiflora 'Little Gem'	Dwarf Magnolia
Magnolia 'Teddybear'	Magnolia cultivar
Malus floribunda	Crabapple
Malus ioensis 'Plena'	Bechtel Crabapple
Michelia figo	Port Wine Magnolia
Pyrus fauriei 'Korean Sun'	Ornamental Pear
Pyrus salicifolia 'Pendula'	Weeping Silver Pear

RESOURCES

- Some resources that you should consult when preparing your landscape plan:
- Landscaping for Bushfire: Garden Design and Plant Selection, CFA, November 2011
 - Indigenous Plant Guide, City of Casey
 - Your Sustainable Garden, City of Casey
 - Botanic Ridge Precinct Structure Plan (amended May 2017)

ENVIRONMENTAL SUSTAINABILITY

LIVEABILITY CONSIDERATIONS

Applicants are encouraged to submit designs that are environmentally responsible.

The orientation of your lot will determine the best siting of the house on the lot. A building's orientation plays a large part in achieving the optimum solar access for your home during winter. Lots on the north side of a street will have sunny backyards – good for private outdoor living. Lots on the south side of a street will have sunny front yards – good for show piece gardens. Lots facing east-west will have sunny side yards. These houses should be sited to leave the largest possible outdoor living space along the northern boundary.

Dwellings can become more liveable by considering the orientation of rooms and windows, shading of windows and walls, ceiling heights, sustainable building materials, cross flow ventilation, covered open spaces, insulation, and water efficient fixtures. Eave design can act as excellent shading devices during warmer months. Implementing these features can also result into substantial financial savings for the home owner.

Double storey homes must respect the privacy of neighbouring dwellings, including potential overshadowing issues that may arise because of siting choices. It is the responsibility of applicants with double storey proposals to ensure their design has demonstrated these factors and to receive approval from the relevant authority and/or Building Surveyor prior to construction.

SOLAR HEATING PANELS

Solar heating panels must be located on roof planes preferably not visible from the Public Realm. The panels should follow the roof pitch. Where visible from public, solar panels will be assessed on their merits with regard to scale, form and colour.

RAINWATER TANKS

Rainwater storage is encouraged for all lots, however certain lots in Octave are located within a Bushfire Management Overlay where the provision of a water tank may be mandated (See Bushfire Management).

Rainwater tanks and all accessories must be not located in front of the dwelling or be visible from the street and public spaces. The rainwater tank and all accessories must be coloured to match the dwelling. To help calculate the size of water storage that you may require, please contact the Department of Sustainability and Environment or City of Casey for appropriate storage requirements in relation to the collection area provided.

BUSHFIRE MANAGEMENT

Octave is located within a Bushfire Prone Area and certain lots have been identified within a Bushfire Management Overlay, which requires dwellings to comply with a particular Bushfire Attack Level (BAL) rating.

It is the applicant's responsibility when building a home to undertake their own due diligence and assess whether the Bushfire Prone Area and Bushfire Management Overlay requirements apply to their lot and comply accordingly.

RECYCLED WATER

Each dwelling must incorporate plumbing that allows for connection to any future recycled water supply.

As a minimum, you must allow for all toilets and two garden taps (front and rear) to be connected to any future recycled water system.

ENERGY RATINGS

It is the applicants' responsibility when building a home to comply with Victoria's energy rating requirements. Dwelling designs should be assessed by a licensed energy rating company, and they in turn will make recommendations regarding insulation and other resource saving measures. Dwellings must achieve the minimum standard as currently legislated.

CREATING GREAT NEIGHBOURS

Octave has always had the vision of living in harmony. At Jinding, we've created a community that lives in harmony with its natural surrounds with over 21% of Octave's masterplan dedicated as open space to embrace its location next door to the Royal Botanic Gardens Cranborne. This guide has been created to help all new residents settle into their new community and to provide some helpful tips to create a space where all feel welcomed.

PARKING

Most land lots and homes have been designed to accommodate two vehicles. Vehicles are not permitted in your front yard, on footpaths, or on vacant land. Driveways can be used to park cars but are not intended for the long-term storage of boats, caravans, or containers. These are also not permitted to be parked on the street.

GARDENS

To keep Octave looking great, a landscape design standard has been created. Front gardens should be kept tidy with your lawn, including verges, kept mown and free of weeds. Garden beds and plants should also be maintained regularly.

WASTE

Rubbish bins are to be kept behind fences or away from public view, except on the day of rubbish collection. Once your rubbish has been collected, please ensure prompt collection of your bins and that they are once again stored out of public view.

LAUNDRY

Clothes drying facilities must be located away from, or screened from public view.

NOISE

We're a community of friends and neighbours. In the interest of positive neighbour relations, please consider those around you and always keep noise to a respectable level.

WINDOW FITTINGS

Homes should be fitted with curtains, blinds, or shutters. Please ensure visually prominent security screens (e.g., diamond grills), or vertical blinds are not installed on doors or windows facing any street frontage.

FENCING

Fencing is the responsibility of the property owners. If you share a fence with a neighbour, it's a good idea to get in contact with them to discuss your requirements and make arrangements that suit both households. Due to privacy laws, Jinding can not disclose purchaser details, but you can request this information from the City of Casey: www.casey.vic.gov.au/apply-share-fencing-costs

Throughout the construction of your land lots, Jinding will host 'welcome events' which are a great opportunity to meet your neighbours. Another alternative, you can agree to pass on your details to your neighbours through the sales team or customer relations, and we can provide your details. Please contact Customer Relations at customerrelations@jinding.com.au with your best contact details and the lots you wish to get in contact with.

CONSTRUCTION OBLIGATIONS

Maintaining appealing streetscapes is essential at Octave, even during the construction phase. We ask that you consider the following information and ensure your builder is also aware of these expectations so that Octave always presents well and is welcoming to its visitors.

We thank you in advance for your cooperation.

LOT MAINTENANCE

While waiting for construction to commence on your land lot, please do not allow any rubbish including site excavations and building materials to accumulate. Please maintain the lot to avoid excessive growth of grass or weeds.

CONSTRUCTION

Please ensure your building site is always clean and safe. Your builder should provide a secure enclosure to contain rubbish for the duration of your construction period. Bins and site facilities should not impede on neighbouring properties, roads, footpaths, or public spaces.

COUNCIL ASSETS

Please ensure the council land directly surrounding your lot is not damaged during your home construction.

The road and verge in front of your lot including the concrete footpath, street trees and nature strips, and services such as water meters, telecommunication boxes and electrical pillars are assets owned by the City of Casey or service authorities.

These assets cannot be altered without the correct approval from Council or the relevant service authority. Council inspects these assets at the completion of construction, when assessing the Certificate of Occupancy to ensure no damage or alteration has occurred.

The purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserves or any waterways.

Please also protect any street trees, nature strips and kerbs during the building works.

DESIGN APPROVAL CHECKLIST

The design portal (portal.octavejunctionvillage.com.au) will prompt you to enter all the information required to make an application for design approval at Octave.

The information required to lodge an application includes:

- Lot number and street name
- Owner's name, address, and contact details
- Builder/Designer's name, address, and contact details
- Applicant's name, address and contact details, if the applicant is not any of the above parties

The design information listed in Section 1.3, Submission Requirements, including:

- Site Plan
- Floor Plan(s)
- Elevations
- Landscape Plan
- Printed Colour Board with materials/ colour/ finishes samples

Please note that incomplete or partial applications will be returned without assessment.

SITEPLAN CHECKLIST

- North point
- Scale 1:200, with all dimensions
- Lot boundaries and any easements on title
- Proposed building footprint and setbacks (from all boundaries)
- Contours (at 0.5m intervals or less) or spot levels
- Location of driveway and crossover and front path
- Other external structures (including pools and spas)

All ancillary items including but not limited to;

- Water tanks and storage units
- Solar panels
- Television antennae
- Air conditioning units
- Evaporative cooling units
- Heating units
- Bin storage area
- Sheds and any outbuildings

FLOORPLANS, ROOF PLANS AND ELEVATIONS

- North point
- Scale 1:100 with all dimensions
- Proposed floor levels
- Internal layout and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings

MATERIALS & FINISHES SCHEDULE

As shown in Appendix A

- All building façade materials and colours
- All roof colours and materials
- All fencing colours and finishes

LANDSCAPE PLAN

- Driveway materials and finish
- Scale 1:100, with all dimensions
- Fencing line, materials and colours
- Planting locations and species
- Water connection
- Water tank locations
- Letterbox design and location

RETAINING WALLS

For lots with greater than 1.5m land fall

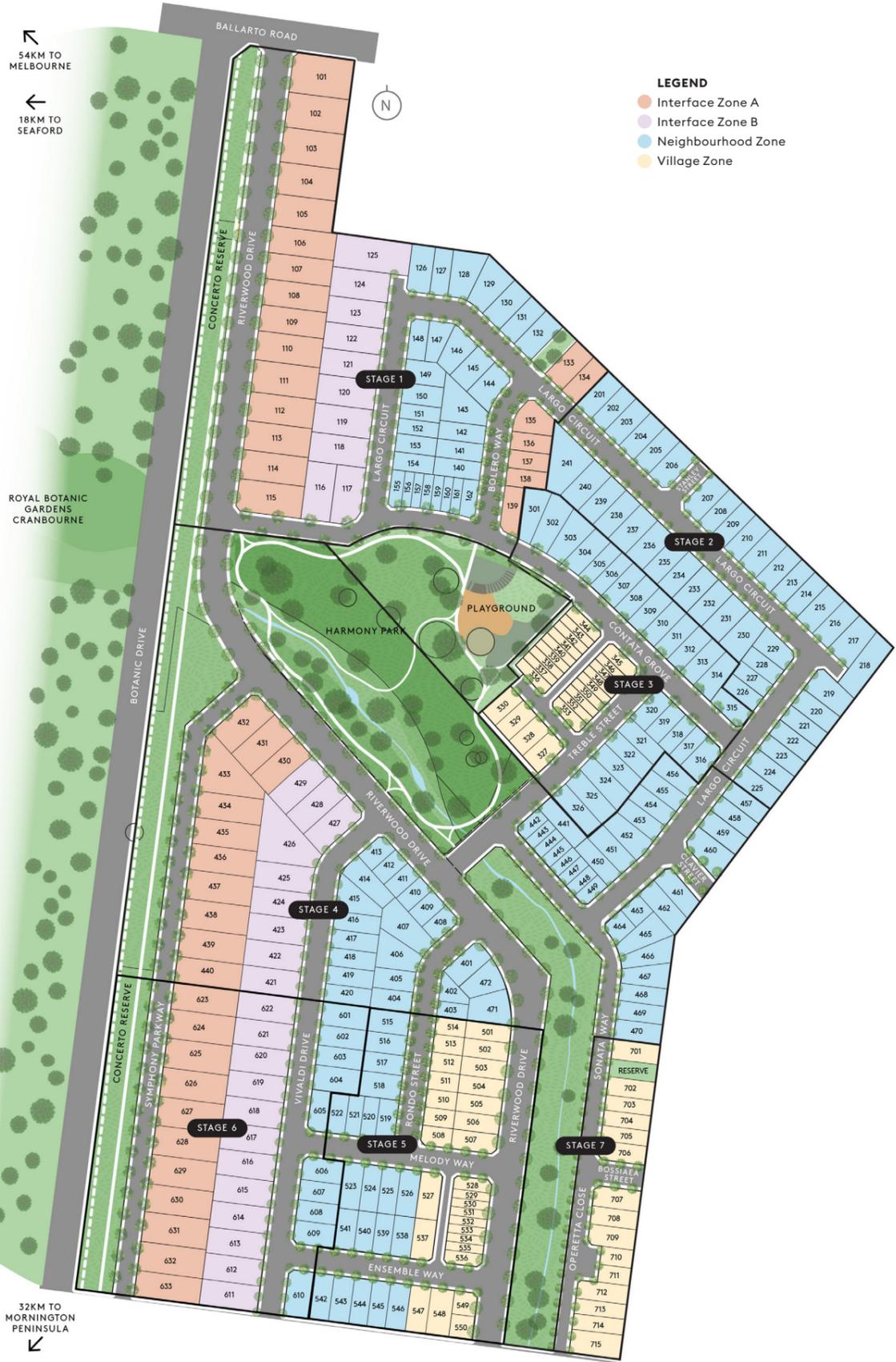
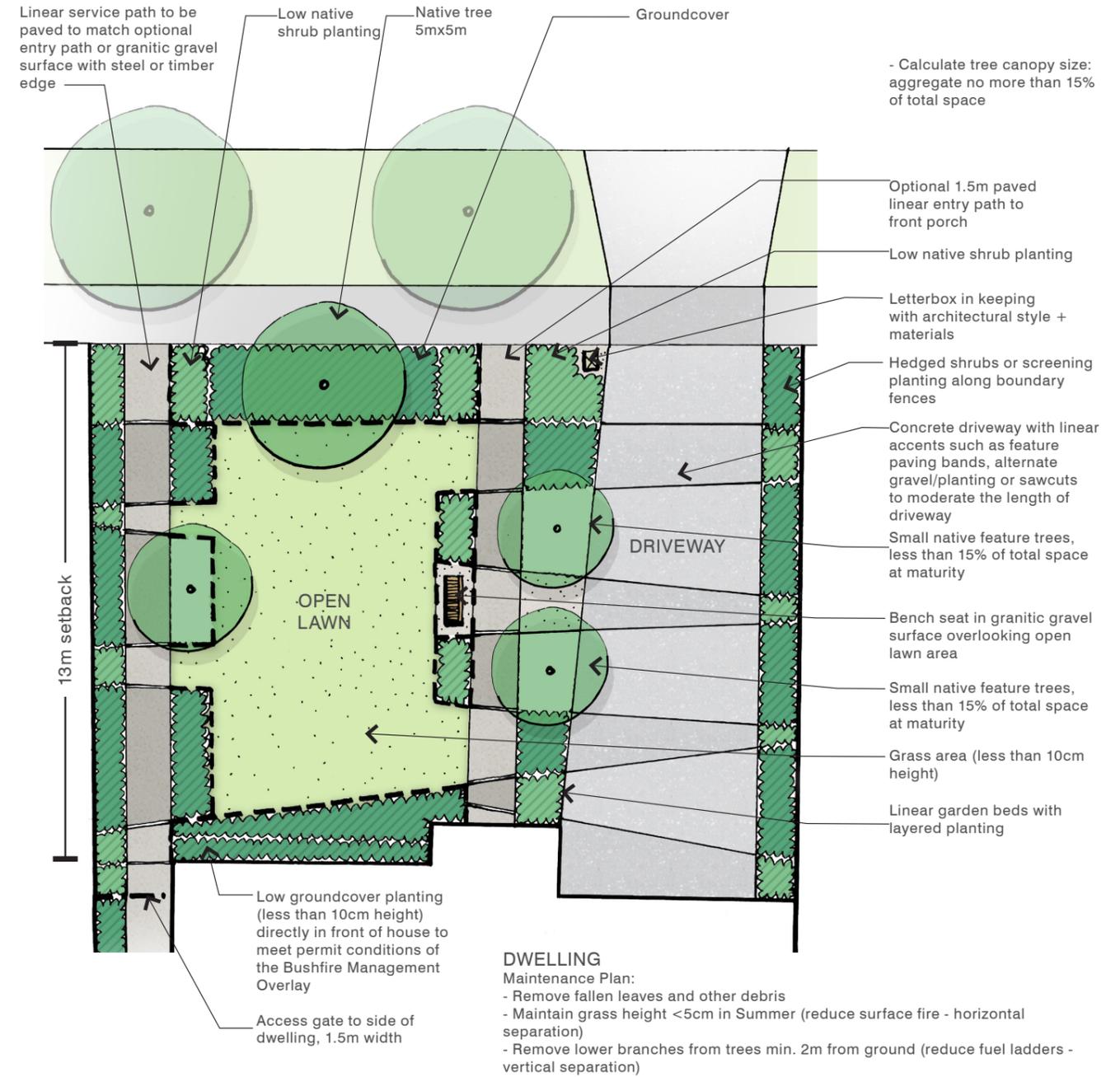
- Scale 1:100, with all dimensions
- Sectional drawing that explains the extent of proposed cut and fill location, and height of proposed retaining wall

LOT - INTERFACE A ZONE

LOT SIZE: 18m x 45m
FRONT SETBACK: 13m

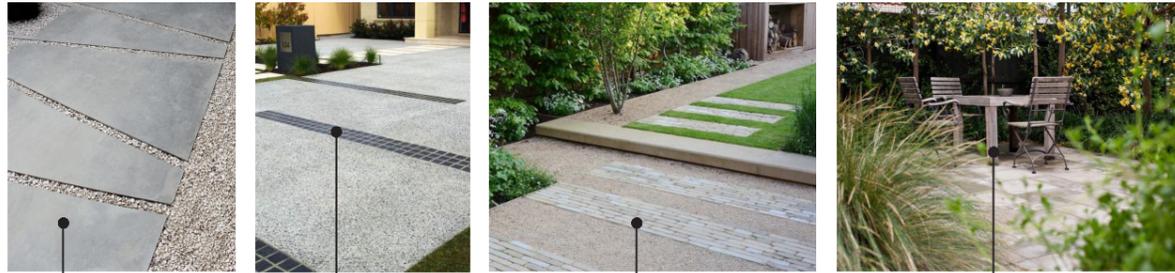
All front lot garden designs must be prepared in accordance with the Octave at Junction Village Design Guidelines and are subject to approval by the Design Assessment Panel.

The following is an indicative garden design with some suggested potential options for paving, landscape features and planting design.



LOT - INTERFACE A ZONE

PAVING & LANDSCAPE FEATURES/MATERIALS TO COMPLEMENT ARCHITECTURE



Angular paving accents or feature saw cuts in concrete

Linear feature paving bands or saw cuts in concrete

Brick paving laid in linear bands provide a detailed feature paving treatment

Locate a garden seat or table setting to maximise use of the substantial front yard

PLANTING DESIGN

Plant species must be selected from the lists provided in the Design Guidelines.

Octave at Junction Village is located within a Bushfire Management Overlay. Accordingly, a minimum of 60% of plants for all lots are required to be native and indigenous species selected from Plant List 1.



Low groundcovers such as *Brachycome multifida* planted along the front wall of the dwelling

Structured geometric lawn area framed by garden beds and trees with low understorey planting. Remove low tree branches above understorey planting

Edge planting or course or fleshy-textured plants



Maintain structured and defined edges to garden beds and lawn areas

Avoid large areas of continuous garden beds by using areas of gravel / lawn to create separation and openness in the design

Course-textured, hedged or clipped native shrubs to frame lawn areas or pathways

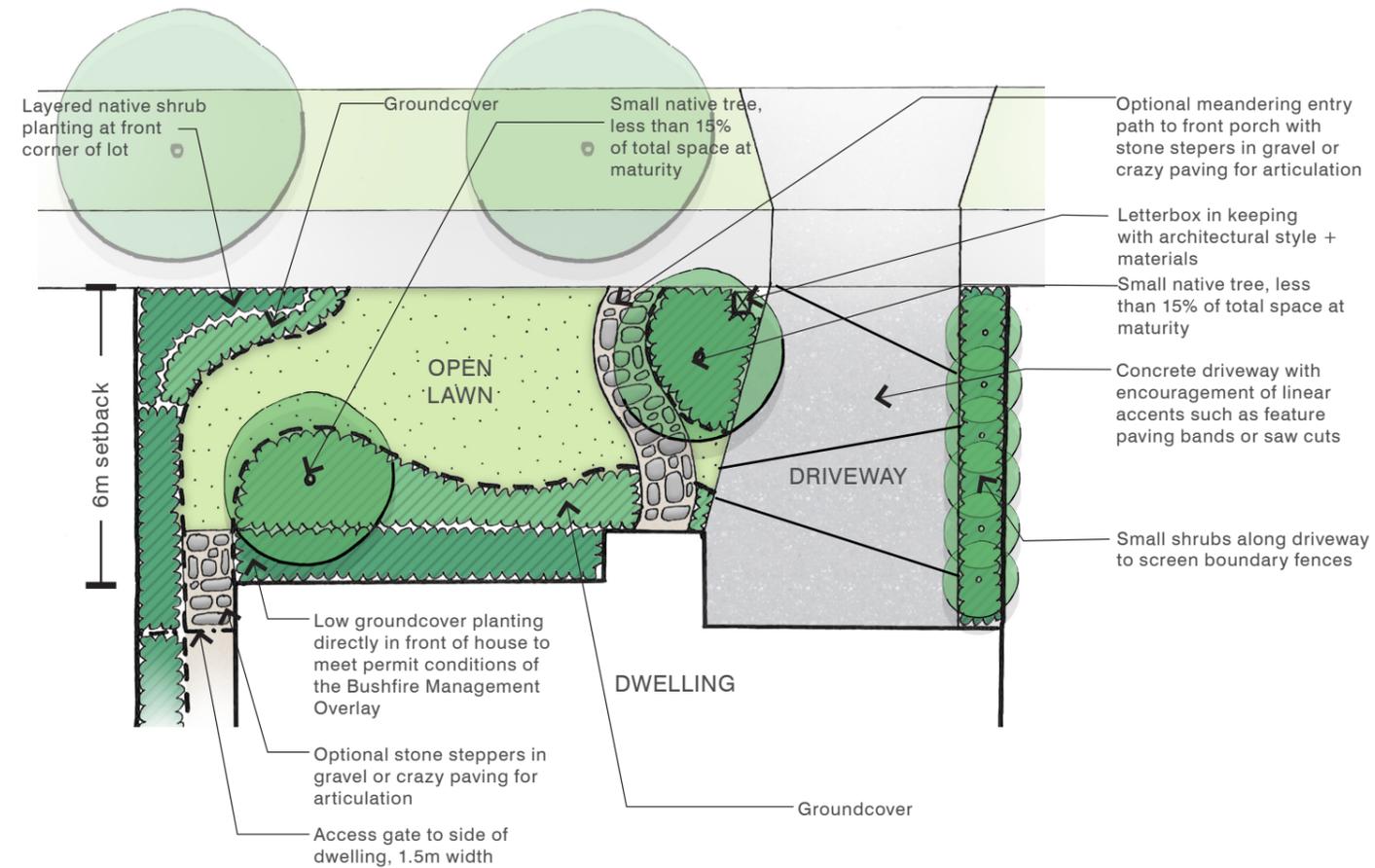
Choose plants with interesting foliage colour or flowers as a highlight within the garden

LOT - INTERFACE B ZONE

LOT SIZE: 18m x 40m
FRONT SETBACK: 6m

All front lot garden designs must be prepared in accordance with the Octave at Junction Village Design Guidelines and are subject to approval by the Design Assessment Panel.

The following is an indicative garden design with some suggested potential options for paving, landscape features and planting design.



- Maintenance Plan:
- Remove fallen leaves and other debris
 - Maintain grass height <5cm in Summer (reduce surface fire horizontal separation)
 - Remove lower branches from trees min. 2m from ground (reduce fuel ladders - vertical separation)

LOT - INTERFACE B ZONE

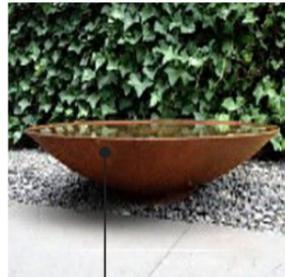
PAVING & LANDSCAPE FEATURES/MATERIALS TO COMPLEMENT ARCHITECTURE



Random stone steppers in gravel or grass with groundcovers



Natural stone for paved pathways in an informal crazy pave style



Consider adding a small birdbath (subject to approval or flowering native plants to encourage birds to visit your garden)

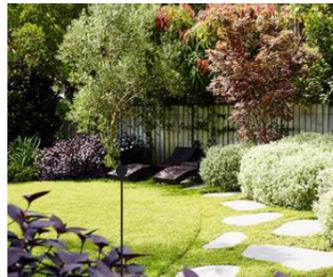


Locate a garden seat in lawn or gravel to maximise use of the front yard

PLANTING DESIGN

Plant species must be selected from the lists provided in the Design Guidelines.

Octave at Junction Village is located within a Bushfire Management Overlay. Accordingly, a minimum of 60% of plants for all lots are required to be native and indigenous species selected from Plant List 1.



Open lawn area framed by curvilinear gardens beds



Use of natural rocks in key areas of the garden create a native bushland feel and add informal seating



Unstructured soft edges to garden beds through the use of flowering plants



Use of groundcovers and lawn alternatives to soften paving such as *Dichondra repens* or *Thymus vulgaris*



A focus on contrasting colours and textures with the choice of plant species including fleshy-leaved plants such as succulents



Choose flowering plants to add interest and colour to the garden



Climbers such as *Hardenbergia* could be used along boundary fences for additional screening where space is restricted



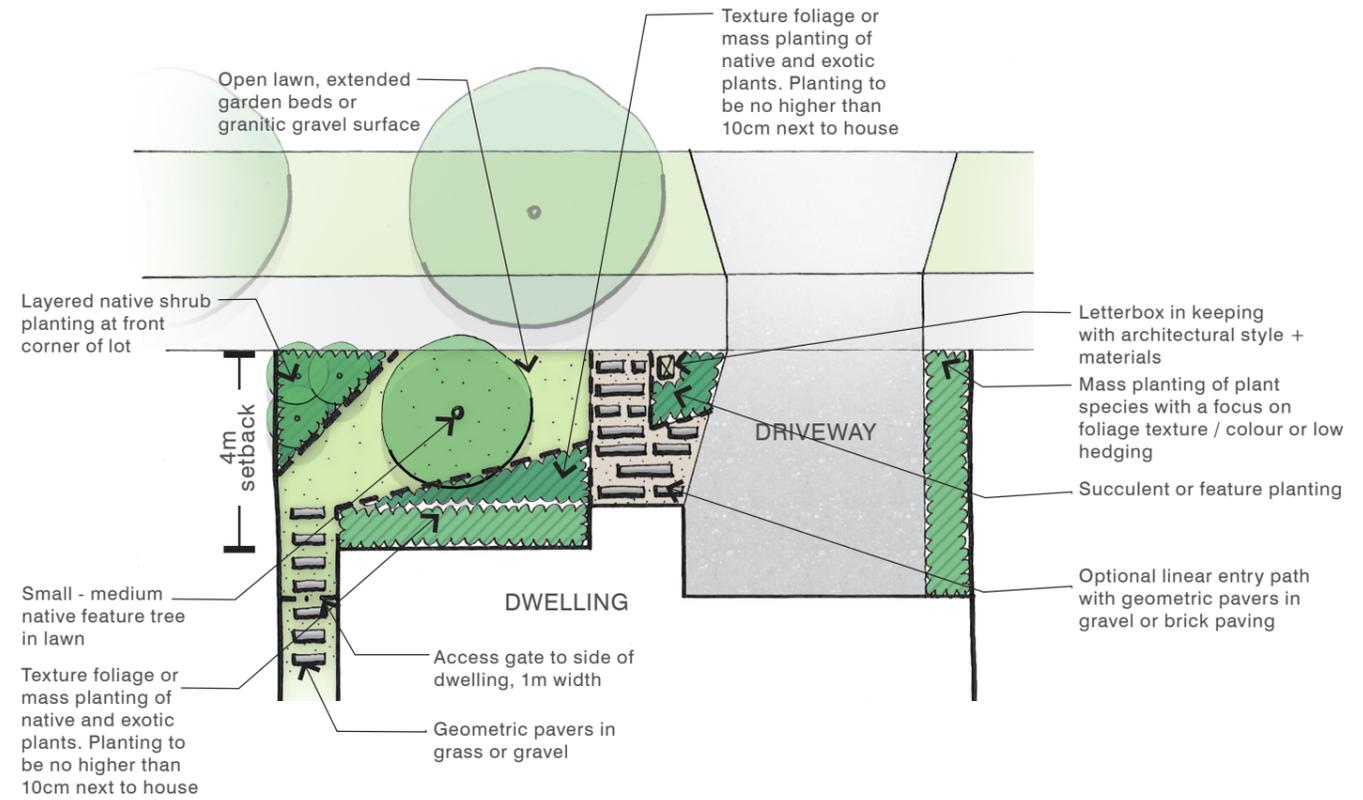
Maintain structured and defined edges to garden beds and lawn areas

14m STANDARD LOT

LOT SIZE: 14m x 32m
FRONT SETBACK: 4m

All front lot garden designs must be prepared in accordance with the Octave at Junction Village Design Guidelines and are subject to approval by the Design Assessment Panel.

The following is an indicative garden design with some suggested potential options for paving, landscape features and planting design.



- Maintenance Plan:
- Remove fallen leaves and other debris
 - Maintain grass height <5cm in Summer (reduce surface fire horizontal separation)
 - Remove lower branches from trees min. 2m from ground (reduce fuel ladders - vertical separation)

14M STANDARD LOT

PAVING & LANDSCAPE FEATURES/MATERIALS TO COMPLEMENT ARCHITECTURE



Contemporary brick paving (consider brick colour and pattern)

Geometric pavers in gravel or grass. Use steel or timber edge to formalise garden beds and areas of gravel / lawn

Potential to use extended garden beds, granitic gravel or lawn alternatives for ground treatment if lawn is not suitable

Small water feature or sculpture to provide a focal point to the garden (subject to approval)

PLANTING DESIGN

Plant species must be selected from the lists provided in the Design Guidelines.

Octave at Junction Village is located within a Bushfire Management Overlay. Accordingly, a minimum of 60% of plants for all lots are required to be native and indigenous species selected from Plant List 1.



A mixture of native and exotic plants create interesting plant combinations

Highlight foliage structure and colour with the use of plants such as *Senecio serpens* and *Phormium tenax*

Native feature tree with colourful flowers such as Illawarra Flame Tree

Low hedging of small shrubs to give structure to the garden



Linear planting lines through the garden adds movement

Choose plants with interesting texture and foliage colour to add interesting

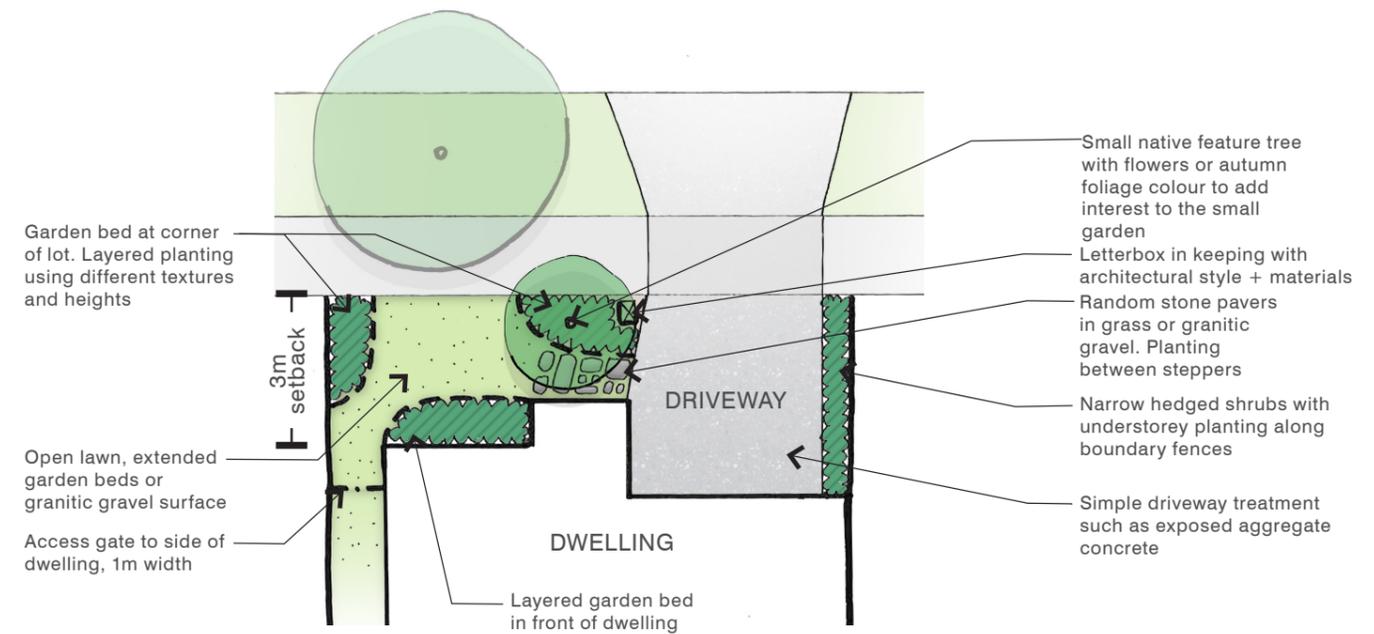
Frame paths or driveway with small shrubs to add height and structure to the design

10.5m STANDARD LOT

LOT SIZE: 10.5m x 28m
FRONT SETBACK: 3m

All front lot garden designs must be prepared in accordance with the Octave at Junction Village Design Guidelines and are subject to approval by the Design Assessment Panel.

The following is an indicative garden design with some suggested potential options for paving, landscape features and planting design.



- Maintenance Plan:
- Remove fallen leaves and other debris
 - Maintain grass height <5cm in Summer (reduce surface fire horizontal separation)
 - Remove lower branches from trees min. 2m from ground (reduce fuel ladders - vertical separation)

10.5M STANDARD LOT

PAVING & LANDSCAPE FEATURES/MATERIALS TO COMPLEMENT ARCHITECTURE



Random stone steppers in gravel or grass with groundcovers



Random stone steppers in gravel or grass with groundcovers



Stone paving provides texture to the garden



Potential to incorporate small sculptural elements to add detail within the garden (subject to approval)

PLANTING DESIGN

Plant species must be selected from the lists provided in the Design Guidelines.

Octave at Junction Village is located within a Bushfire Management Overlay. Accordingly, a minimum of 60% of plants for all lots are required to be native and indigenous species selected from Plant List 1.



Unstructured soft edges to garden beds by using flowering plants



Use fragrant and flowering groundcovers such as *Trachelospermum jasminoides* for interest



Feature small native flowering tree such as *Eucalyptus ficifolia* - Red Flowering Gum



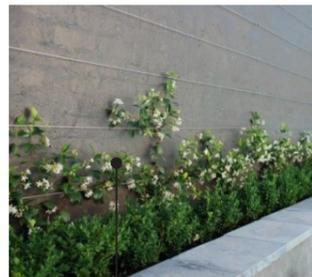
Narrow hedged shrubs along driveway to soften boundary fence



Layer planting of different textures and heights to maximise the impact of the small garden



Colourful flowering plants such as *Chrysocephalum* or *Lavendula* add interest to the small garden size



Use climbers such as *Trachelospermum jasminoides* along boundary fences where space is restricted



Use succulent plants such as *Senecio serpens* for contrast



While this brochure reflects the proposed development at the time this brochure was created, the information it contains should be used as a general guide only. The representations of the development are artistic impressions only. In particular, the designs, plans, images, view lines, dimensions, layout, sizes and areas, facilities, amenities, infrastructure, number of lots, the configuration of these and other information contained in this brochure, the marketing display suite, internet site, videos, computer applications and all plans and schedules. Octave at Junction Village may change depending on a range of variable factors including, but not limited to, council building approvals and planning consents, market conditions, finance and government and municipal requirements. As a result, the Property Information is preliminary only and subject to change without notice as the development progresses. This brochure does not constitute part of an offer or contract. We recommend that you undertake your own enquiries, obtain independent legal advice and confirm the current Property Information at the time you enter into any purchase contract. Developer JD JVC Development Pty Ltd (ATF Junction Village Unit Trust) ACN 626 008 026 and its associated entities do not make any representations or give any warranties that the information set out in this brochure is or will remain accurate or complete at all times and disclaim all liability for harm, loss, costs or damage which arises in connection with any use or reliance on the information. Updated March 2022.